

File: CD-CR1SD00000CD.dwg Path: P:\Colorado\castle rock\buduch design group\the little school daycare #23-222-002\2 drawings\ Plotted by: Adam Date: 19-Mar-24 7:51:01pm

SITE DATA

LOT 1 0.245± AC  
TOTAL 0.245± AC

ZONING: B (BUSINESS/COMMERCIAL)  
- WITHIN DOWNTOWN OVERLAY DISTRICT

LOCAL JURISDICTION: CASTLE ROCK, COLORADO

BASIS OF BEARING

ORIGINAL PLAT IS INTERIOR ANGLES. BEARINGS ARE ASSUMED AND BASED ON THE CONSIDERATION THAT THE EAST LINE OF LOT 6 & THE SOUTH 1/2 OF LOT 5, TOWN OF CASTLE ROCK REC NO. 1874010001, COUNTY OF DOUGLAS, STATE OF COLORADO S 00°31'17" W; NORTHEAST CORNER IS A #5 REBAR WITH A 1-1/2" DIAMETER ORANGE PLASTIC CAP STAMPED PLS 36570; SOUTHEAST CORNER IS AN "X" CHISELED INTO CONCRETE WALL AS SHOWN HERON BETWEEN THOSE IDENTIFIES MONUMENTS.

BASIS OF ELEVATIONS

DOUGLAS COUNTY BENCHMARK:  
DCBM 3020015  
ELEVATION = 6255.00 (NAVD88)

LEGAL DESCRIPTION

LOT 6 & S 1/2 OF LOT 5 BLOCK 22,  
TOWN OF CASTLE ROCK, STATE OF COLORADO, COUNTY OF DOUGLAS

PROJECT CONTACTS:

**CIVIL ENGINEER**  
RIDGETOP ENGINEERING  
541 E. GARDEN DRIVE, UNIT N  
WINDSOR, CO 80550  
(970) 663-4552  
CONTACT: MIKE BEACH, P.E.

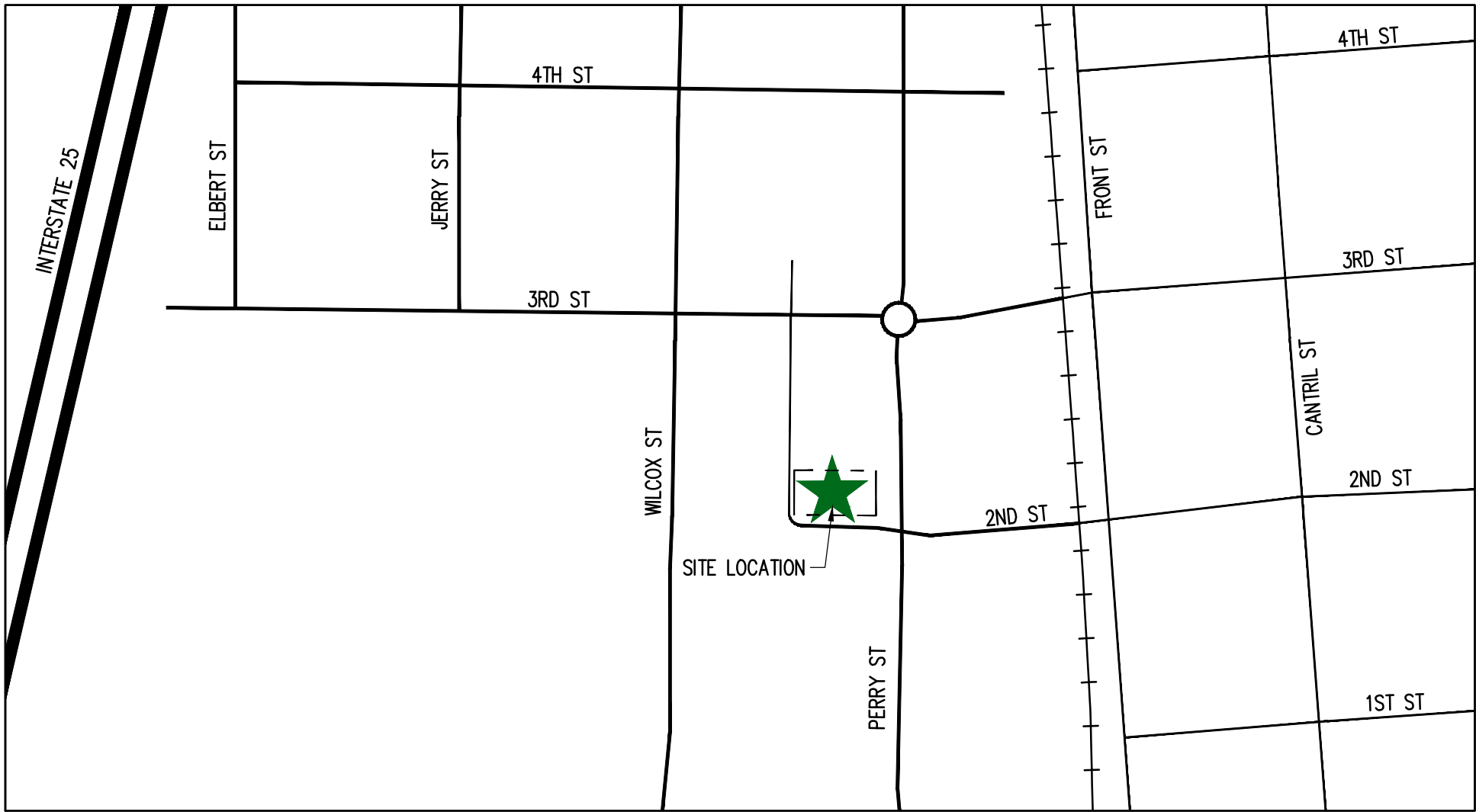
**ARCHITECT**  
BODOUCH DESIGN GROUP  
4969 S. AKIRE ST.  
MORRISON, CO 80465  
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CONTACT: SCOTT BODOUCH, AIA

**LANDSCAPE ARCHITECT**  
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**DEVELOPER/APPLICANT**  
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**SURVEYOR**  
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CONTACT: KEVIN E. ARCHER P.E.  
KARCHER@DAVIDEARCHER.COM

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VICINITY MAP

1" = 250'



SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. THIS PROPERTY IS LOCATED WITHIN ZONE "X" AS PER FEMA FIRM PANEL NO. 08035C03016, DATED MARCH 16TH, 2016.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
10. THE ZONING RECORDATION INFORMATION, INCLUDING DATE AND RECEPTION NUMBER OR "THIS SITE IS ZONED "B" - BUSINESS/COMMERCIAL I, AND "DOD" - DOWNTOWN OVERLAY."
11. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
13. RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4- FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
15. IF THE PROJECT WILL BE LOCATED WITHIN 300 FEET OF THE 100 YR. FLOODPLAIN, APPROVAL FROM THE U.S. FISH AND WILDLIFE SERVICE WILL BE REQUIRED FOR POTENTIAL DISTURBANCE OF THE PREBLE'S MEADOW JUMPING MOUSE HABITAT. PLEASE SEE LINK BELOW FOR INFORMATION RELATED TO THE PREBLE'S MEADOW JUMPING MOUSE.  
HTTP://WWW.FWS.GOV/MOUNTAIN-PAIRIE/PRAIRIE/SPECIES/MAMMALS/PREBLE/
16. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
9. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

WATER RIGHTS DEDICATION AGREEMENT  
THE TOWN OF CASTLE ROCK HAS ACQUIRED CONTROL OF THE WATER RIGHTS THROUGH THE ADOPTION OF ORDINANCE NO. 97-17 AND PURSUANT TO THE IMPLIED CONSENT PROVISION OF C.R.S. 37-90-137(8).

\*UTILITY NOTE\*

CONTRACTOR TO FIELD VERIFY ALL UTILITY INVERTS PRIOR TO ANY CONSTRUCTION OR EARTHWORK MODIFICATIONS.

NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION



Know what's below.  
Call before you dig.

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

541 E. Garden Drive, Windsor, CO 80550  
T (970) 663-4552 W ridgetopeng.com

PROJECT TITLE

LITTLE SCHOOL ON PERRY ST

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR

MISSION CAPITAL PROPERTIES BAYSIDE

SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY: AUS  
CHECKED BY: MRB  
PROJECT NO.: 23-222-002

REVISIONS


DATE

08/31/2023

SHEET TITLE

COVER SHEET

SHEET INFORMATION

CV-1.0

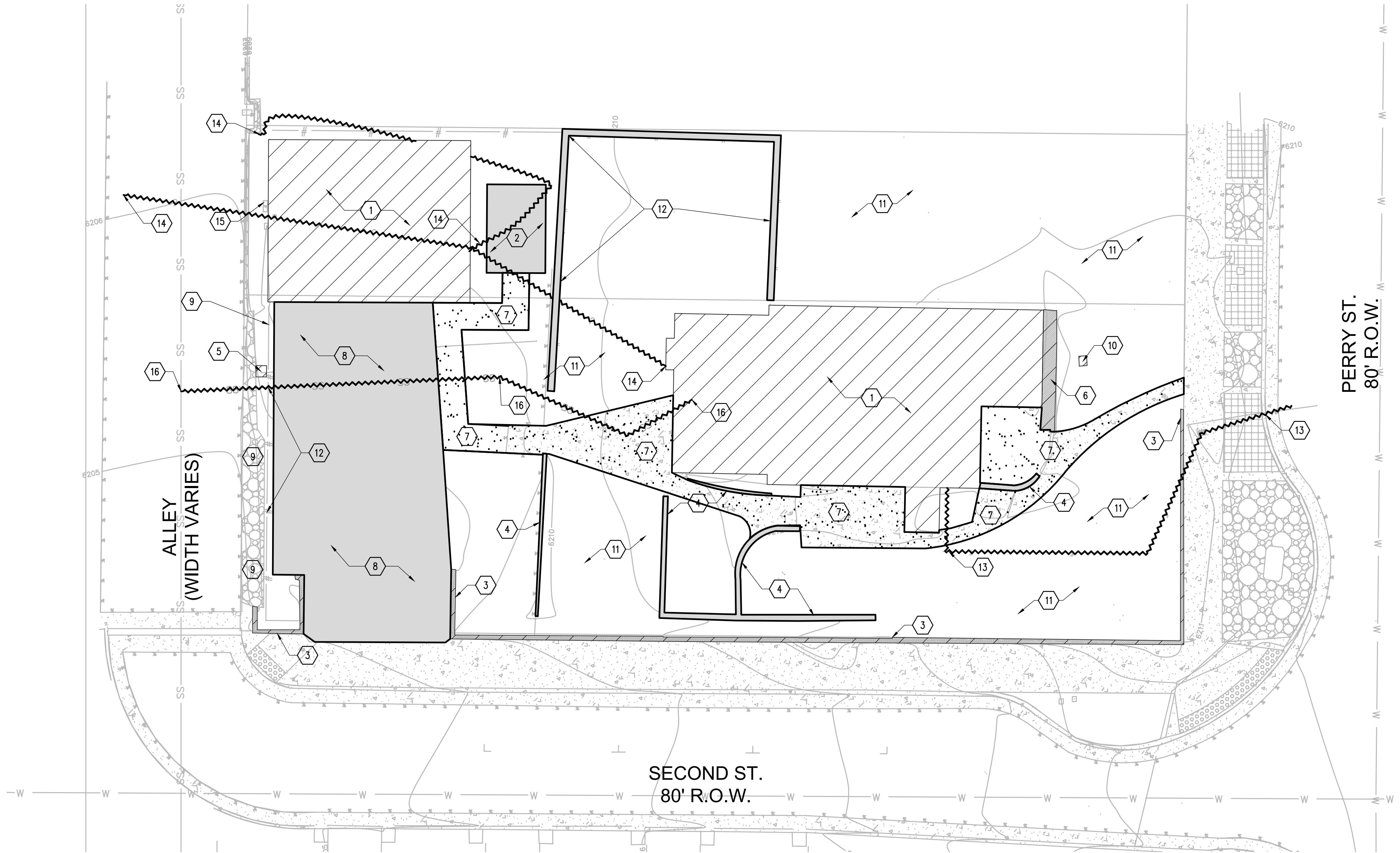
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# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



## LEGEND

PROPERTY LINE	---
REMOVE/REPLACE EX. PAVEMENT HARDSCAPE	▨
PROTECT EXISTING	▨
REMOVE/REPLACE EXISTING CONCRETE/SIDEWALK	▨
CURB REMOVAL	---
SAW CUT	---
UTILITIES TO BE DEMOED	---

NOTE: FOR ANY REMOVALS BACK TO MAIN OR SIMILAR; ALL HARD SURFACES, BASE MATERIAL, CURB AND GUTTER, ETC MUST BE REPLACED WITH SAME TYPE/COLOR MATERIAL AS REMOVED.

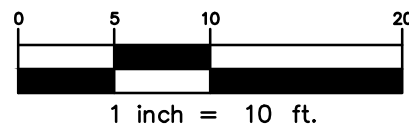
## NOTES

- DEMOLITION NOTES ARE FOR CLARIFICATION ONLY AND ARE SHOWN FOR THE CONTRACTOR'S BENEFIT. THESE NOTES ARE NOT INTENDED TO BE COMPREHENSIVE. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL EXISTING ON-SITE IMPROVEMENTS NECESSARY TO ACCOMMODATE THE PROPOSED CONSTRUCTION.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY DAVID ARCHER. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR IS TO REMOVE ALL EXISTING SURFACE IMPROVEMENTS AND DEBRIS WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED. ALL DEBRIS FOUND ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE CODES.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN.
- REMOVE EXISTING PIPES LOCATED OUTSIDE PROPOSED BUILDING PAD LIMITS.
- CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURES, VALVE BOXES, VAULT LIDS AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY PROPOSED CONSTRUCTION.

## DEMOLITION KEY

- PROTECT EXISTING BUILDING. TO REMAIN.
- DEMOLISH EXISTING SHED
- PROTECT EXISTING RETAINING WALLS
- DEMOLISH AND REMOVE EXISTING RETAINING/ROCKERY WALLS
- REMOVE EXISTING GAS METER. TO BE RELOCATED.
- PROTECT EXISTING PLANTER - SEE ARCH. DRAWINGS
- REMOVE EXISTING SIDEWALKS AND PATHWAYS
- DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT/CONCRETE TO DEPTH SUFFICIENT TO CONSTRUCT NEW PAVING AND IMPROVEMENTS.
- DEMOLISH EXISTING CONCRETE CURB
- PROTECT HISTORICAL MARKER. TO REMAIN.
- CLEAR AND GRUB AREA OF ANY EXISTING IMPROVEMENTS IN THE WAY OF THE PROPOSED BUILDING AND SITE IMPROVEMENTS.
- REMOVE ALL EXISTING FENCING FROM SITE
- DEMOLISH EXISTING WATER LINE AND METER UP TO METER.
- DEMOLISH EXISTING PRIVATE OVERHEAD POWER LINE. TO BE RELOCATED.
- PROTECT EXISTING METERING POINT TO REMAIN.
- DEMOLISH EXISTING SANITARY LINE TO MAIN. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION

NORTH



Know what's below.  
Call before you dig.

NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, Unit N Windsor, CO 80550  
T (970) 663-4562 W ridgetopeng.com

SEAL

PROJECT TITLE

**LITTLE SCHOOL  
ON PERRY ST**

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR

**MISSION CAPITAL  
PROPERTIES  
BAYSIDE**

SUBMITTAL

**CONSTRUCTION  
DOCUMENTS**

DRAWN BY: AUS

CHECKED BY: MRB

PROJECT NO.: 23-222-002

REVISIONS


DATE

**08/31/2023**

SHEET TITLE

**DEMO PLAN**

SHEET INFORMATION

**DM-1.0**

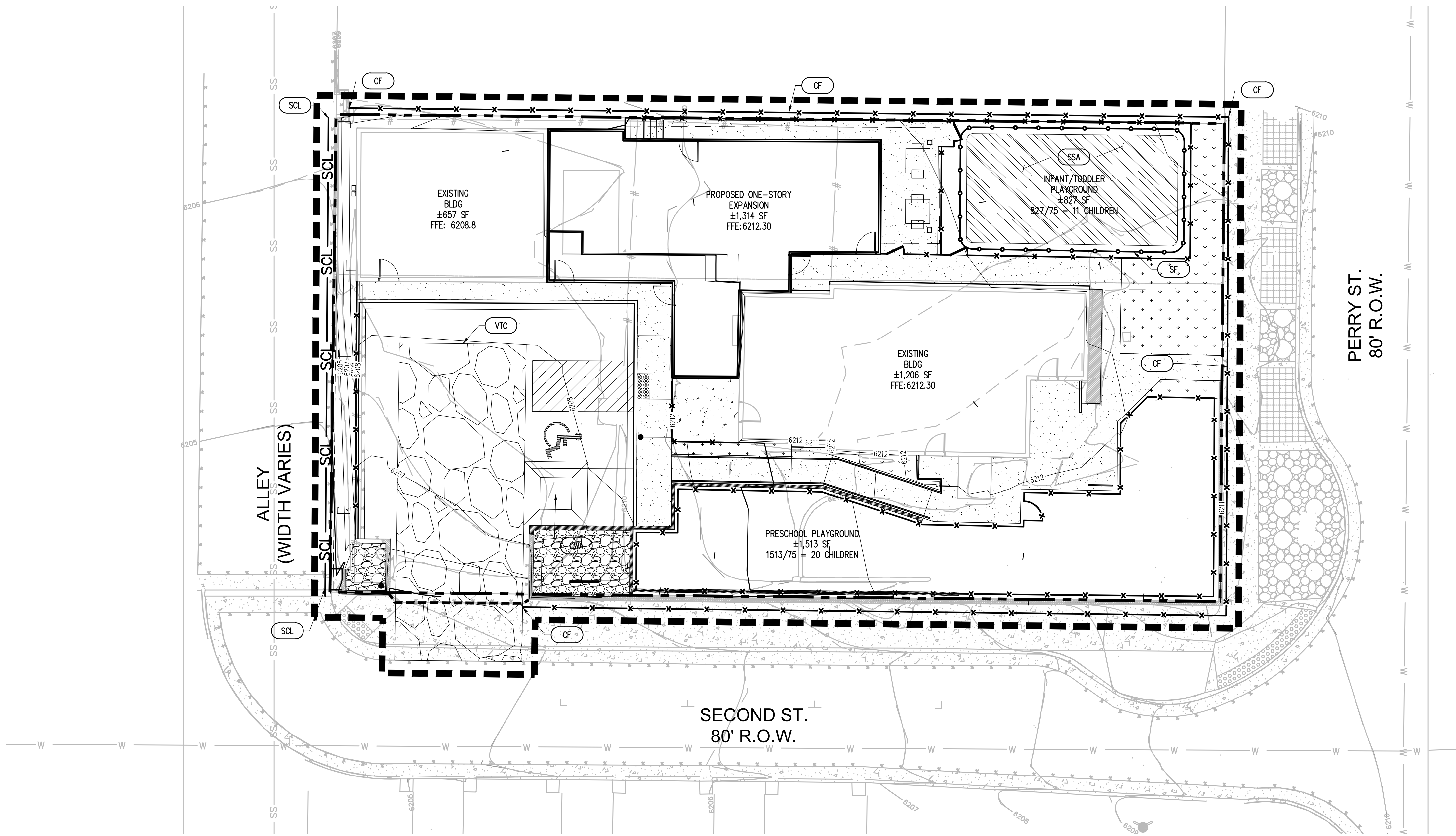
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# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



## LEGEND

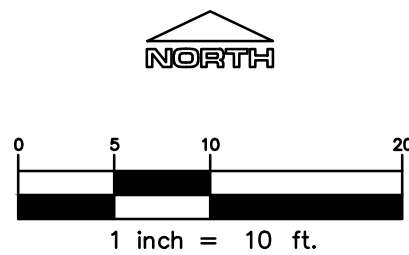
EX. CONTOUR  
LIMITS OF DISTURBANCE  
PROPERTY LINE

## EROSION DETAILS

- VTC CONSTRUCTION EXIT (1 ER-2.0)
- SF SILT FENCE (2 ER-2.0)
- SCL SEDIMENT CONTROL LOG (1 ER-2.1)
- CF CONSTRUCTION FENCE (3 ER-2.0)
- CWA CONCRETE WASHOUT (2 ER-2.1)
- SSA STAGING & STORAGE (3 ER-2.1)
- RS ROCK SOCK (1 ER-2.2)

## ACREAGE SUMMARY (IN ACRES)

SITE AREA	0.24 AC±
ON-SITE DISTURBED AREA	0.24 AC±
OFF-SITE DISTURBED AREA	0.04 AC±
TOTAL DISTURBED AREA	0.28 AC±



NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, Unit N Windsor, CO 80550  
T: (877) 863-4562 W: ridgetopeng.com

SEAL

PROJECT TITLE

**LITTLE SCHOOL  
ON PERRY ST**

PREPARED FOR

MISSION CAPITAL  
PROPERTIES  
BAYSIDE

SUBMITTAL

CONSTRUCTION  
DOCUMENTS

DRAWN BY: AJIS

CHECKED BY: MRB

PROJECT NO.: 23-222-002

REVISIONS


DATE

08/31/2023

SHEET TITLE

**EROSION  
CONTROL  
PLAN**

SHEET INFORMATION

ER-1.0

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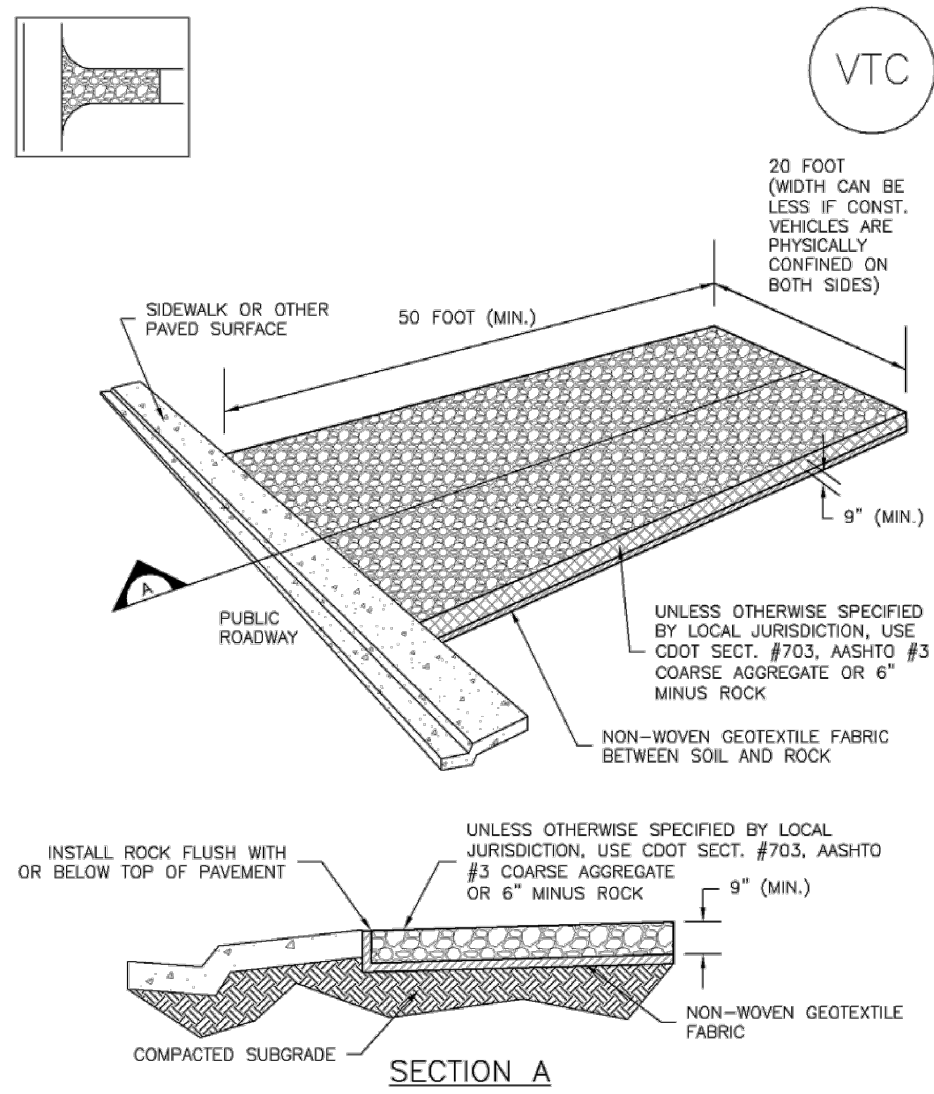


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# CONSTRUCTION DOCUMENTS

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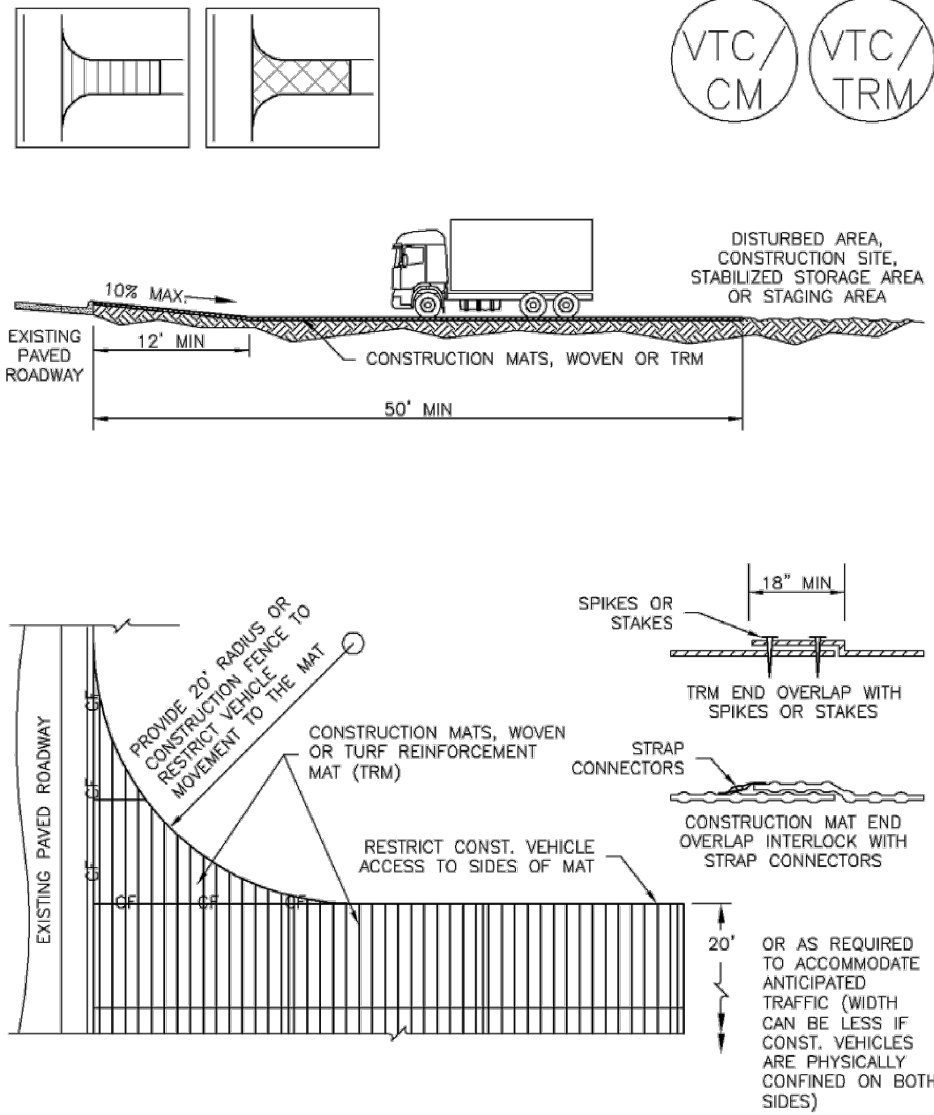
## Vehicle Tracking Control (VTC) SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 VTC-3

## Vehicle Tracking Control (VTC) SM-4



VTC-3. VEHICLE TRACKING CONTROL W/ CONSTRUCTION MAT OR TURF REINFORCEMENT MAT (TRM)

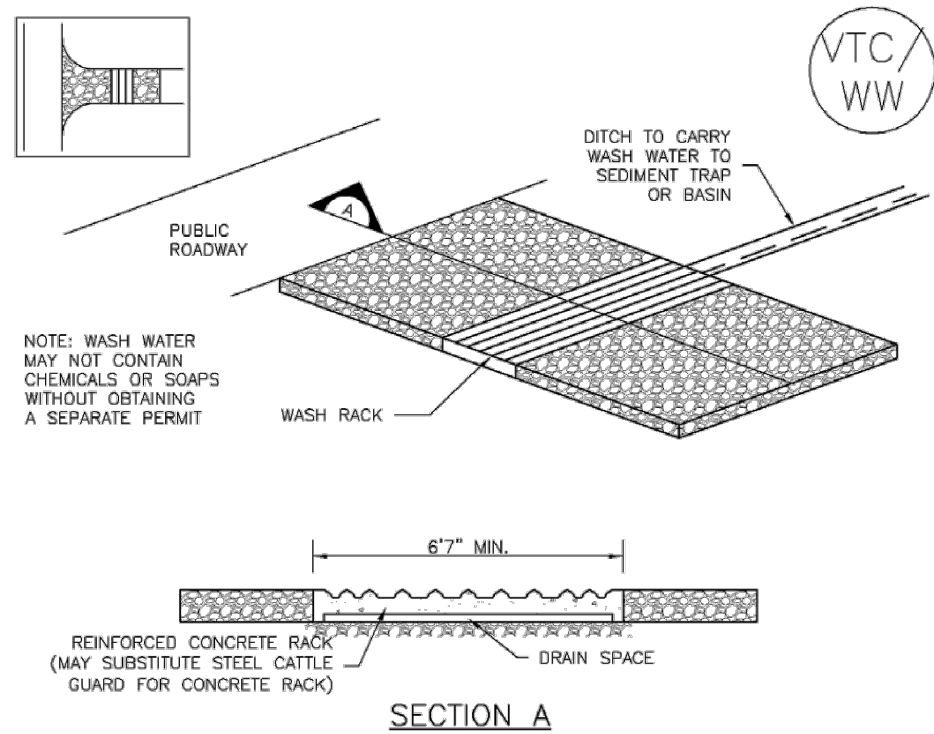
November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 VTC-5

## VEHICLE TRACKING CONTROL

NTS

1

## SM-4 Vehicle Tracking Control (VTC)



VTC-2. AGGREGATE VEHICLE TRACKING CONTROL WITH WASH RACK

VTC-4 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010

## SM-4 Vehicle Tracking Control (VTC)

### STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES

- SEE PLAN VIEW FOR  
-LOCATION OF CONSTRUCTION ENTRANCES/EXITS(S).  
-TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
- CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
- A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.

### STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES

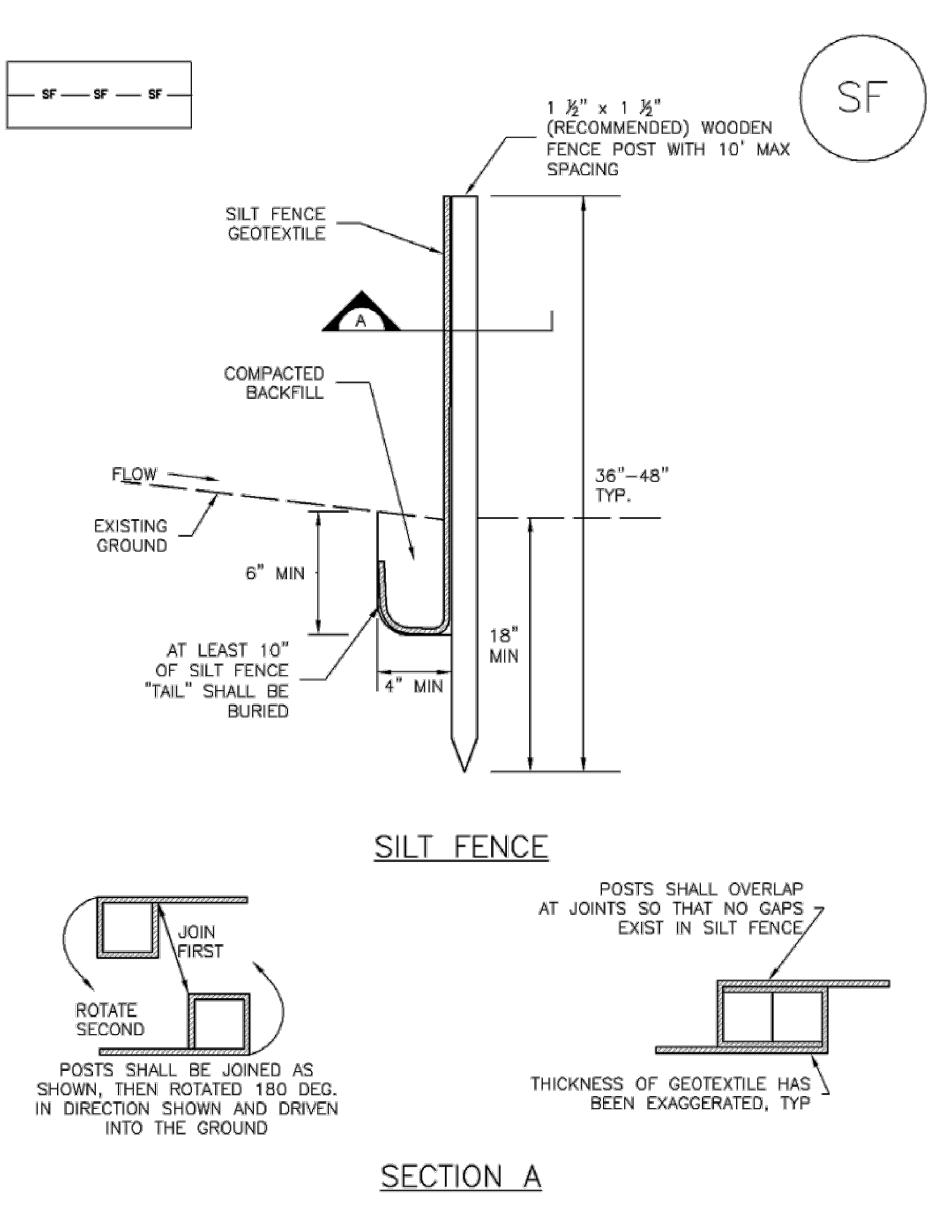
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRASSED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010

## Silt Fence (SF) SC-1



SF-1. SILT FENCE

November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 SF-3

## SC-1 Silt Fence (SF)

### SILT FENCE INSTALLATION NOTES

- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
- A UNIFORM 6" x 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
- COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
- SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES. THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
- SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
- AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.

### SILT FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
- REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
- SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
- WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

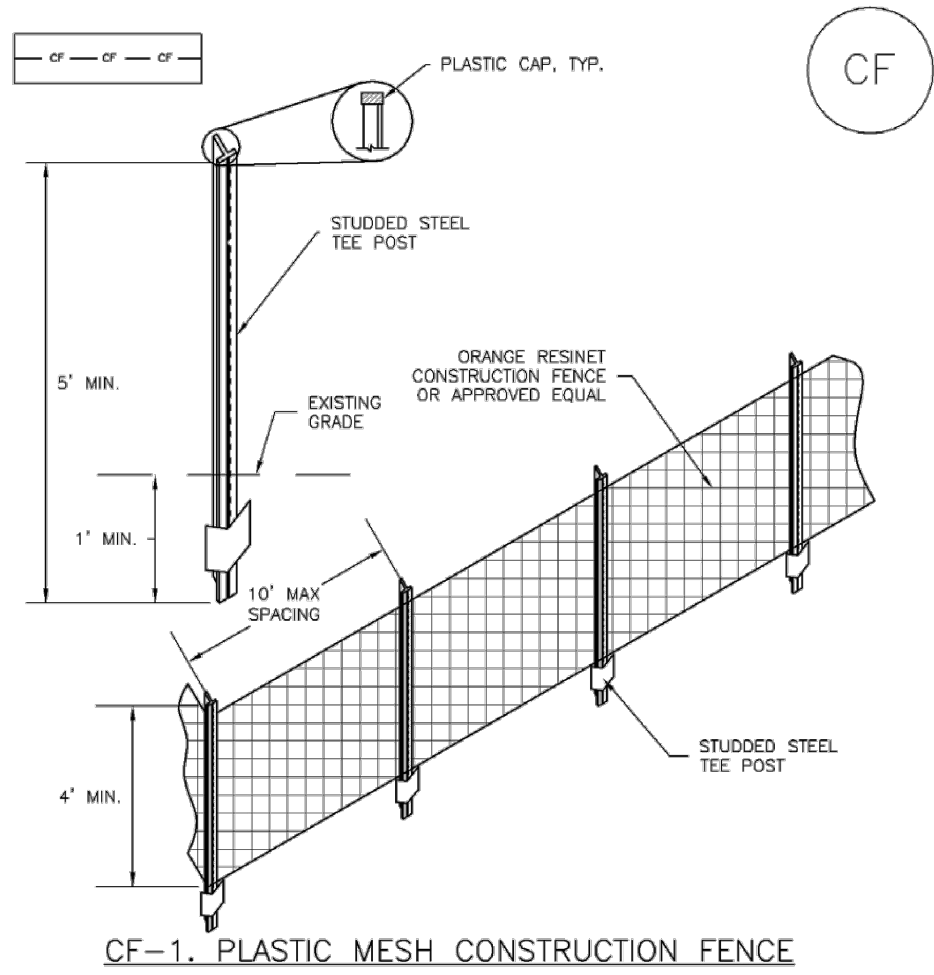
SF-4 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010

## SILT FENCE

NTS

2

## SM-3 Construction Fence (CF)



CF-1. PLASTIC MESH CONSTRUCTION FENCE

### CONSTRUCTION FENCE INSTALLATION NOTES

- SEE PLAN VIEW FOR  
-LOCATION OF CONSTRUCTION FENCE.
- CONSTRUCTION FENCE SHOWN SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- CONSTRUCTION FENCE SHALL BE COMPOSED OF ORANGE, CONTRACTOR-GRADE MATERIAL THAT IS AT LEAST 4' HIGH. METAL POSTS SHOULD HAVE A PLASTIC CAP FOR SAFETY.
- STUDDED STEEL TEE POSTS SHALL BE UTILIZED TO SUPPORT THE CONSTRUCTION FENCE. MAXIMUM SPACING FOR STEEL TEE POSTS SHALL BE 10'.
- CONSTRUCTION FENCE SHALL BE SECURELY FASTENED TO THE TOP, MIDDLE, AND BOTTOM OF EACH POST.

CF-2 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010

## Construction Fence (CF) SM-3

### CONSTRUCTION FENCE MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- CONSTRUCTION FENCE SHALL BE REPAIRED OR REPLACED WHEN THERE ARE SIGNS OF DAMAGE SUCH AS RIPS OR SACS. CONSTRUCTION FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN CONSTRUCTION FENCES ARE REMOVED, ALL DISTURBED AREAS ASSOCIATED WITH THE INSTALLATION, MAINTENANCE, AND/OR REMOVAL OF THE FENCE SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED, OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)

November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 CF-3

## CONSTRUCTION FENCE

NTS

3



Know what's below.  
Call before you dig.

NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, T (870) 663-4550  
Unit N W. ridgepeng.com  
Windsor, CO 80550

PROJECT TITLE

LITTLE SCHOOL  
ON PERRY ST

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR

MISSION CAPITAL  
PROPERTIES  
BAYSIDE

SUBMITTAL

CONSTRUCTION  
DOCUMENTS

DRAWN BY: AUS

CHECKED BY: MRB

PROJECT NO.: 23-222-002

REVISIONS


DATE

08/31/2023

SHEET TITLE

EROSION  
CONTROL  
DETAILS

SHEET INFORMATION

ER-2.0

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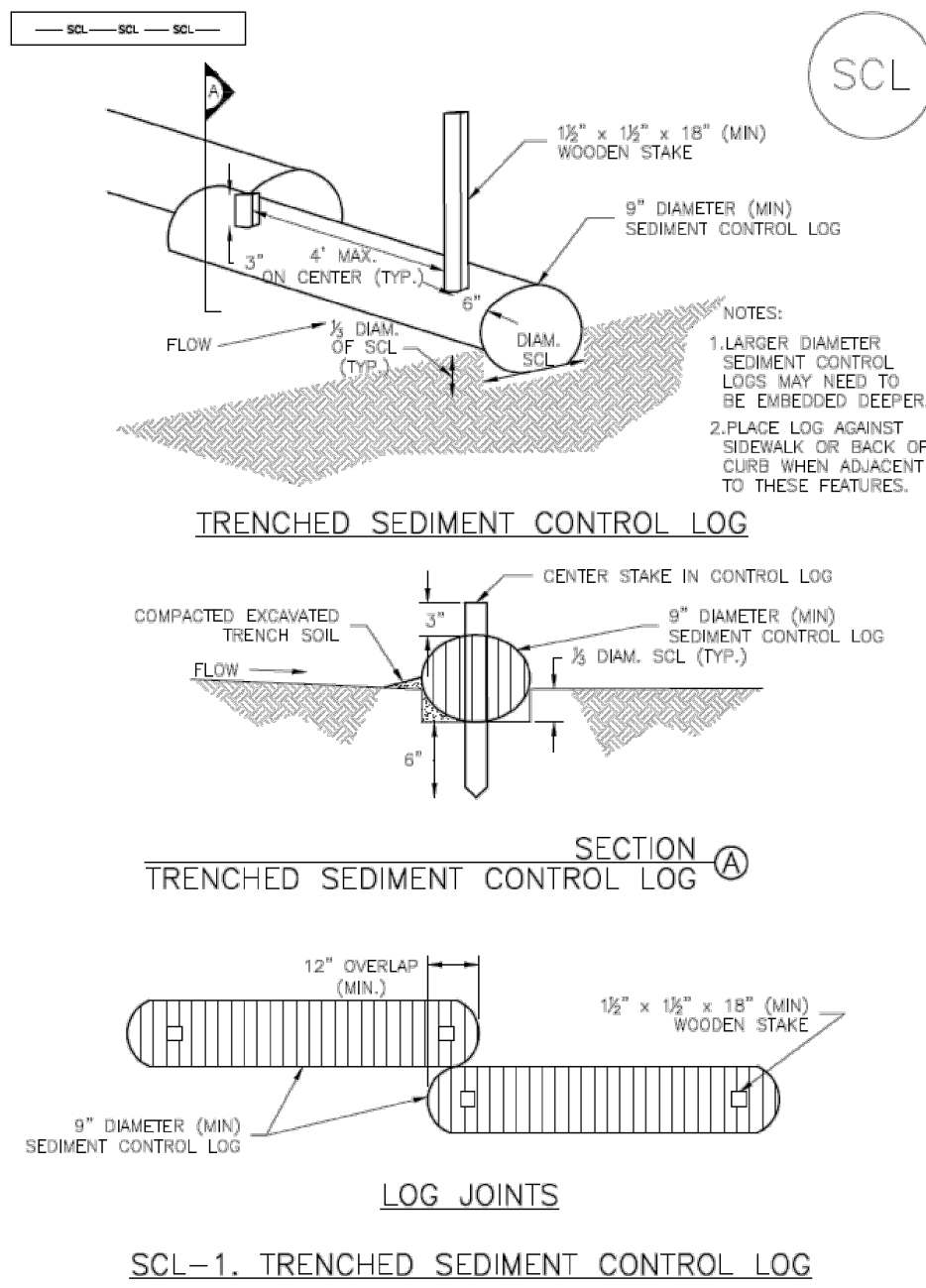
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# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## Sediment Control Log (SCL)

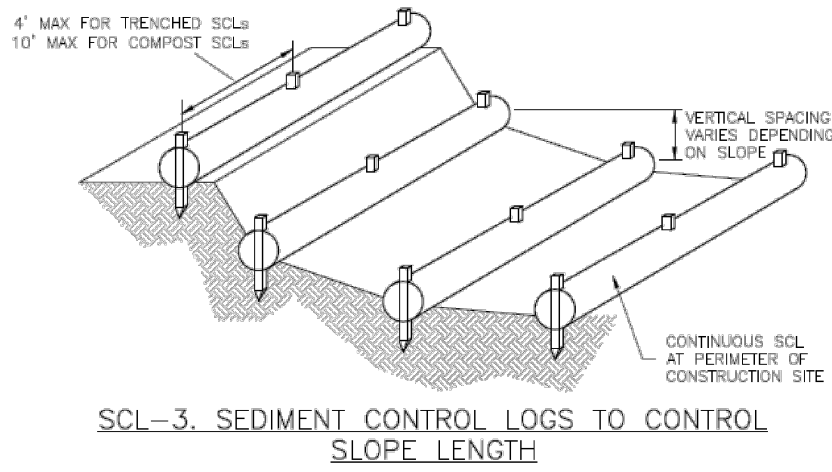
SC-2



November 2015 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 SCL-3

## Sediment Control Log (SCL)

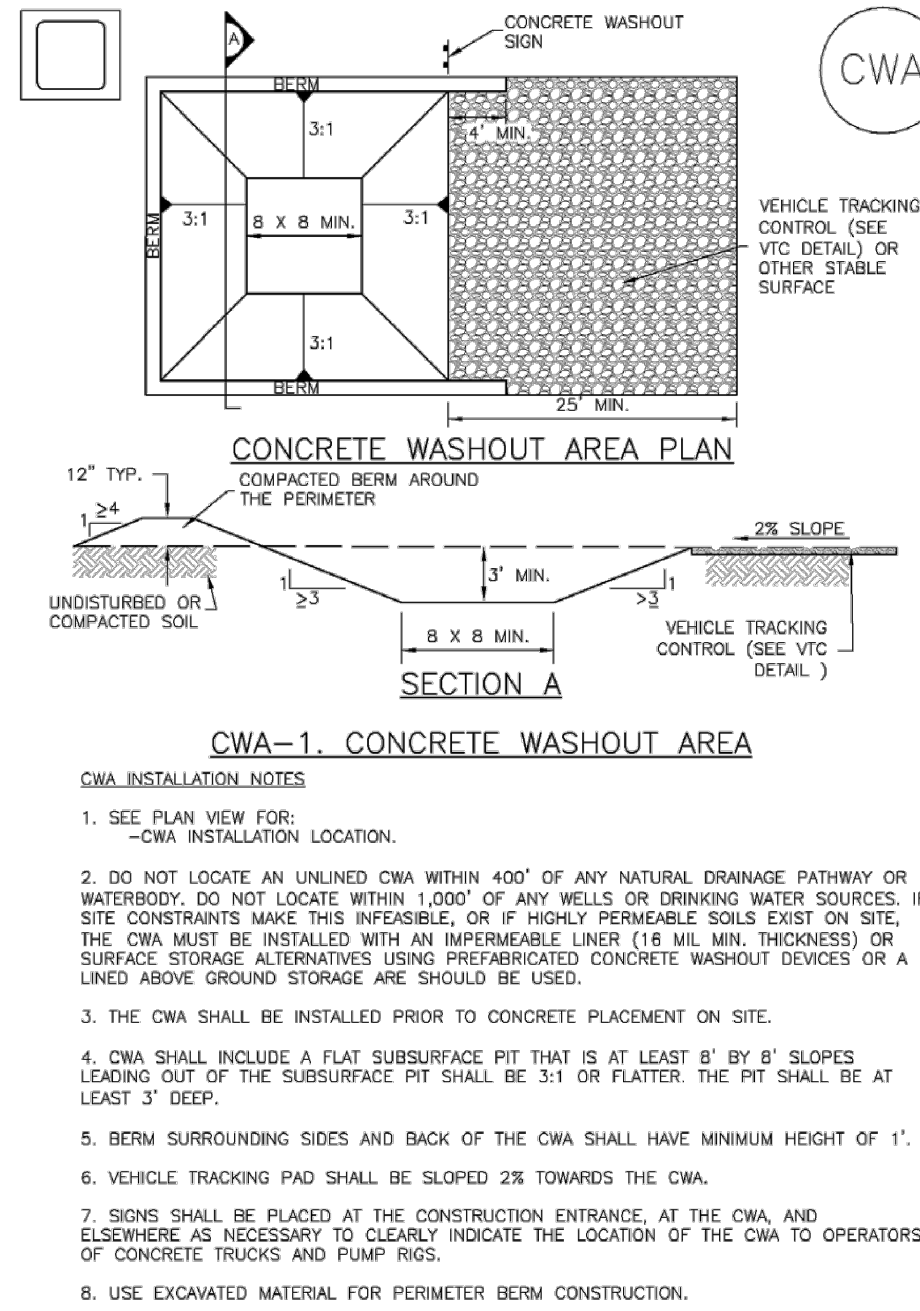
SC-2



November 2015 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 SCL-5

## Concrete Washout Area (CWA)

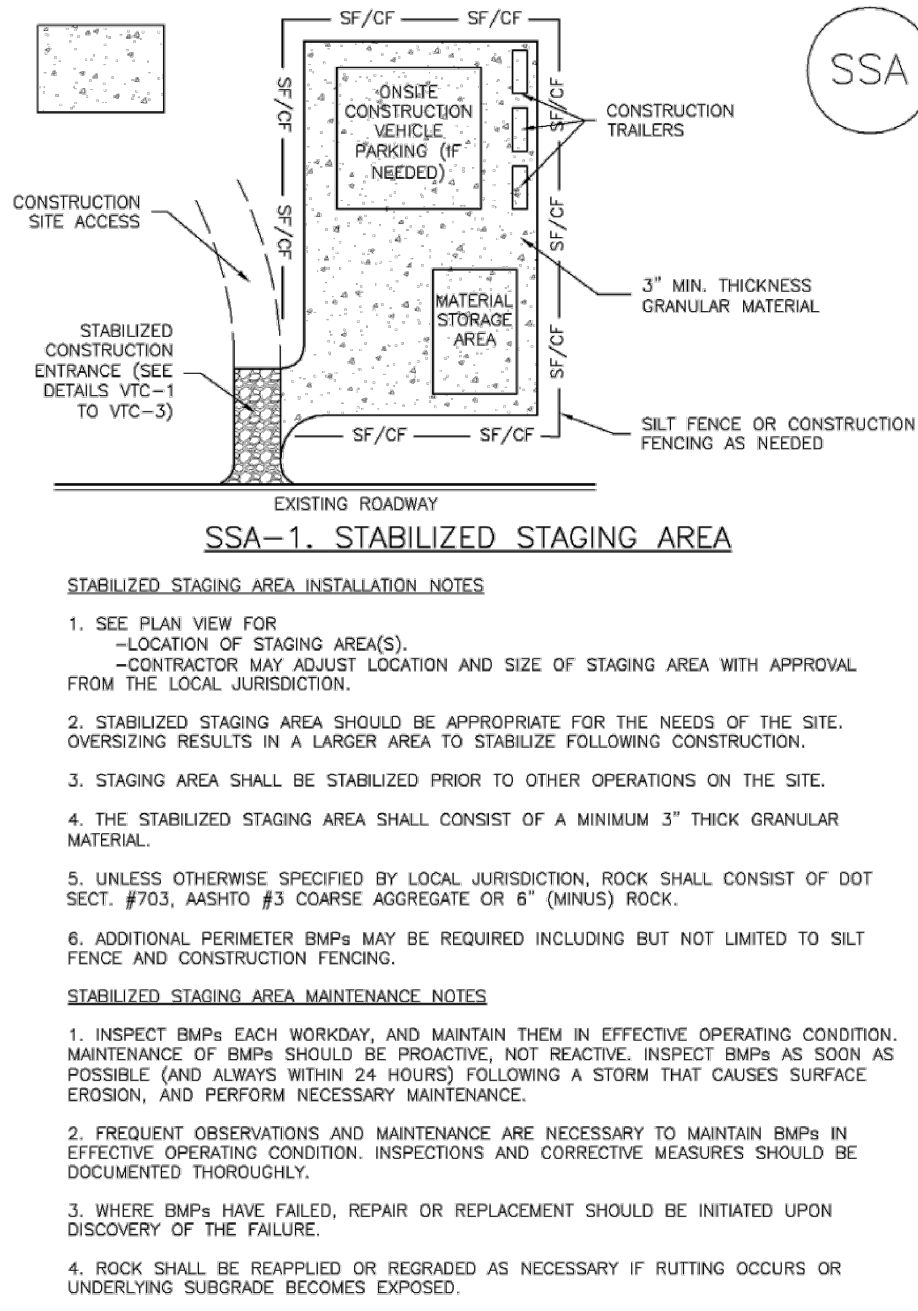
MM-1



November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 CWA-3

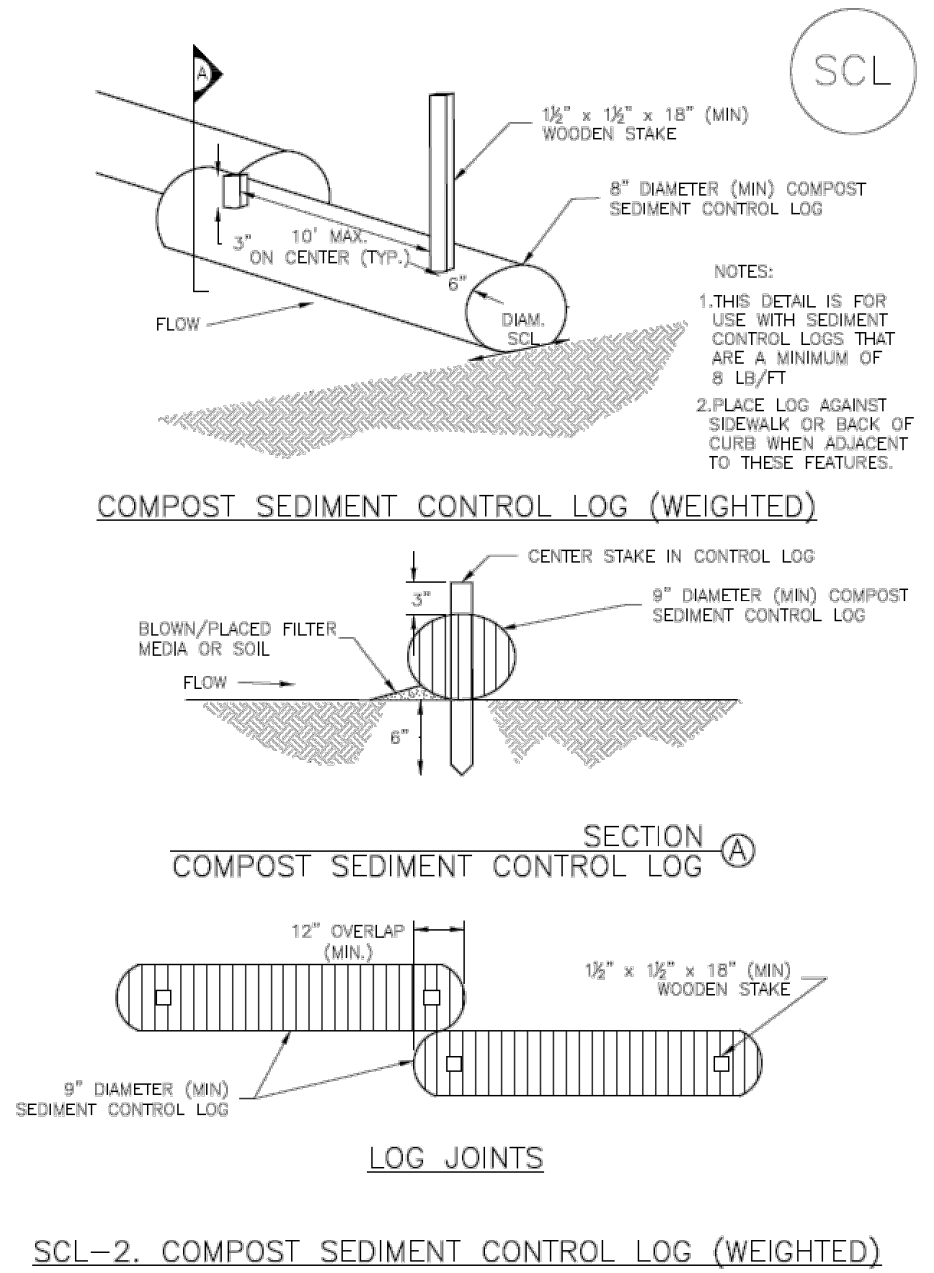
## Stabilized Staging Area (SSA)

SM-6



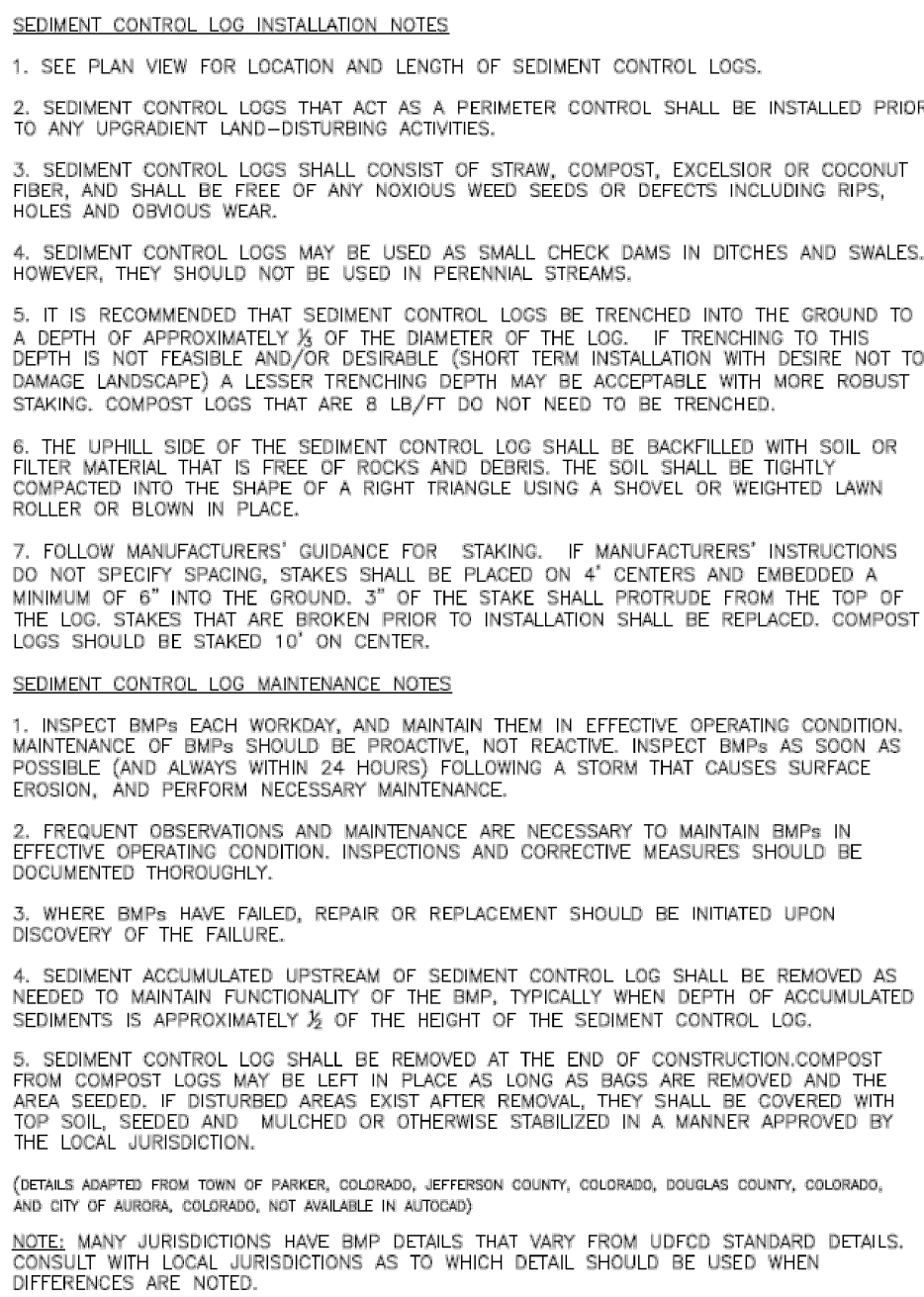
November 2010 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 SSA-3

## SC-2 Sediment Control Log (SCL)



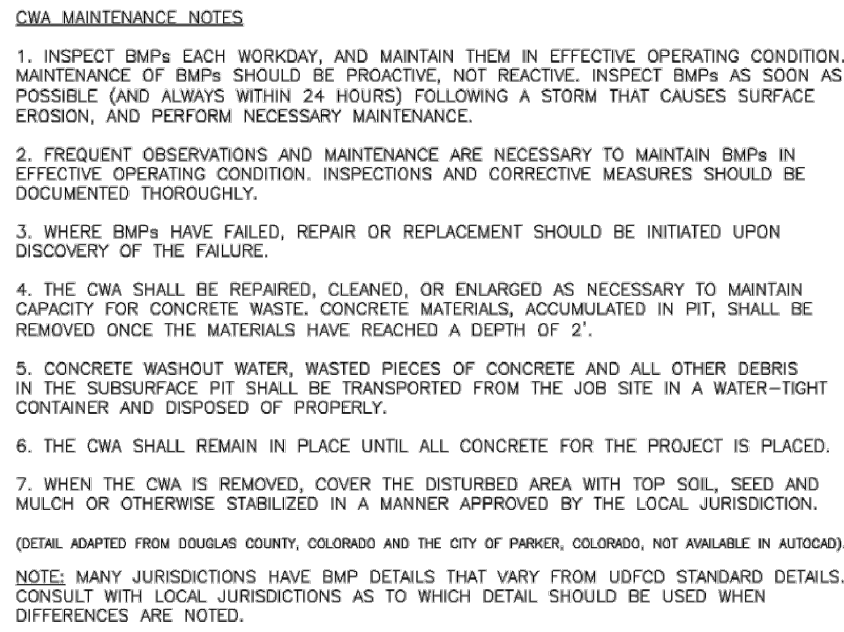
SCL-4 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2015

## SC-2 Sediment Control Log (SCL)



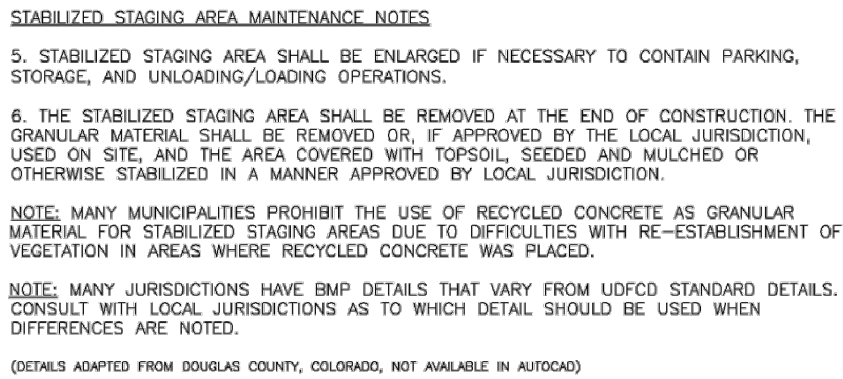
SCL-6 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2015

## MM-1 Concrete Washout Area (CWA)



CWA-4 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010

## SM-6 Stabilized Staging Area (SSA)



SSA-4 Urban Drainage and Flood Control District  
Urban Storm Drainage Criteria Manual Volume 3 November 2010

## SEDIMENT CONTROL LOG

NTS

1

## CONCRETE WASHOUT AREA

NTS

2

## STABILIZED STAGING AREA

NTS

3



Know what's below.  
Call before you dig.

NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

LOGO

**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, Windsor, CO 80550  
T (877) 863-4552  
W ridgepeng.com

PROJECT TITLE

**LITTLE SCHOOL  
ON PERRY ST**

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR

**MISSION CAPITAL  
PROPERTIES  
BAYSIDE**

SUBMITTAL

**CONSTRUCTION  
DOCUMENTS**

DRAWN BY:

AUS

CHECKED BY:

MRB

PROJECT NO.:

23-222-002

REVISIONS


DATE

08/31/2023

SHEET TITLE

**EROSION  
CONTROL  
DETAILS**

SHEET INFORMATION

ER-2.1

5 of 16

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

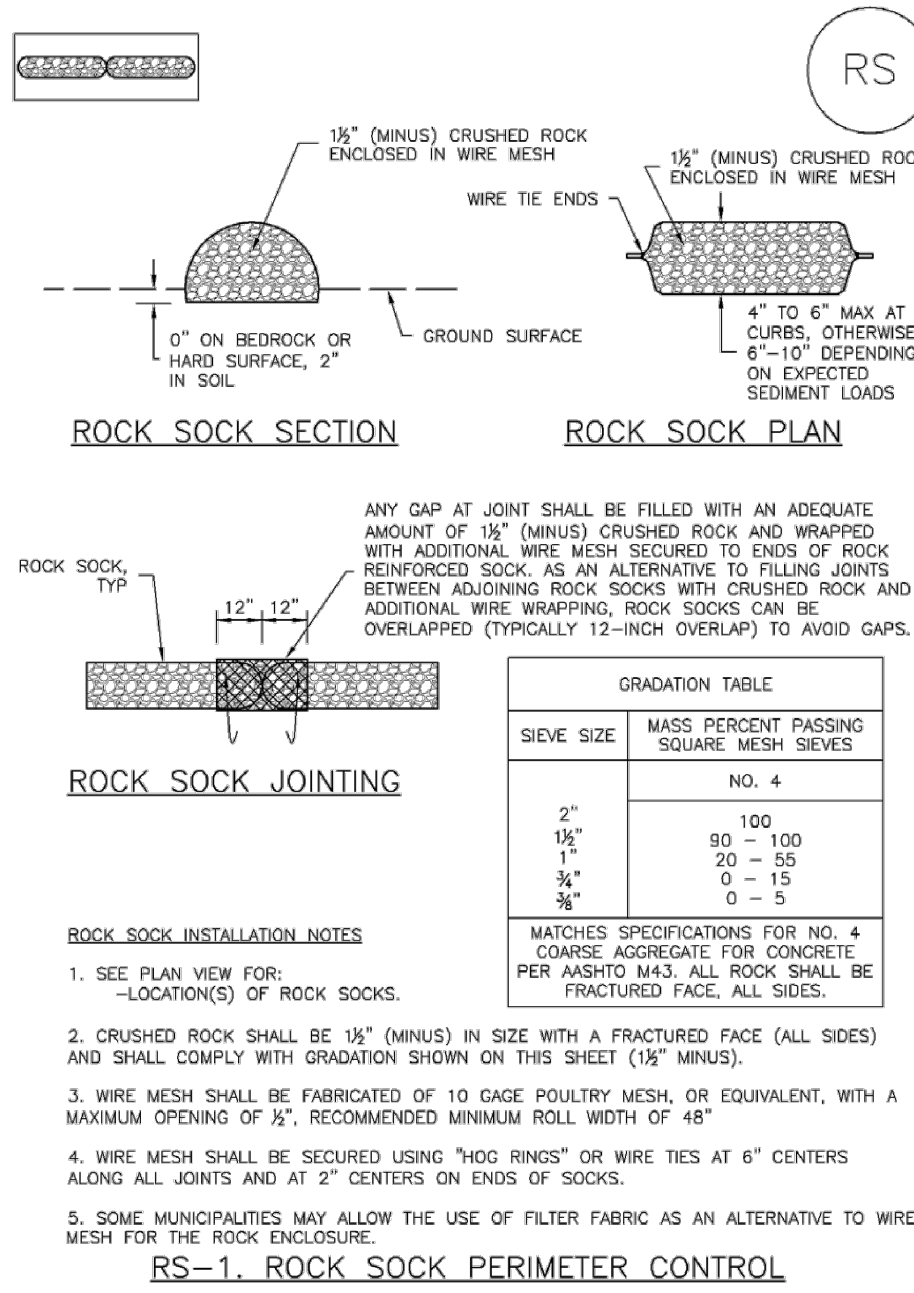


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# CONSTRUCTION DOCUMENTS

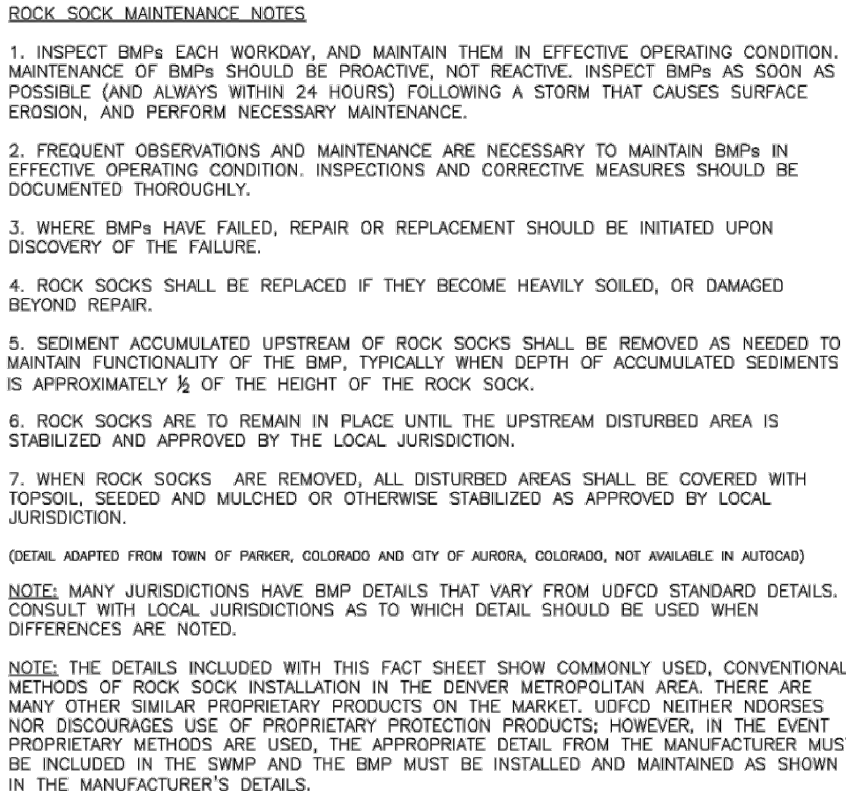
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## SC-5 Rock Sock (RS)



RS-2 Urban Drainage and Flood Control District November 2010  
Urban Storm Drainage Criteria Manual Volume 3

## Rock Sock (RS) SC-5



November 2010 Urban Drainage and Flood Control District November 2010  
Urban Storm Drainage Criteria Manual Volume 3

## ROCK SOCKS

NTS

1



Know what's below.  
Call before you dig.

NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, Unit N Windsor, CO 80550  
T (877) 863-4552  
W ridgektopeng.com

SEAL

PROJECT TITLE

LITTLE SCHOOL  
ON PERRY ST

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR

MISSION CAPITAL  
PROPERTIES  
BAYSIDE

SUBMITTAL

CONSTRUCTION  
DOCUMENTS

DRAWN BY: AUS  
CHECKED BY: MRB  
PROJECT NO.: 23-222-002

REVISIONS

DATE

08/31/2023

SHEET TITLE

EROSION  
CONTROL  
DETAILS

SHEET INFORMATION

ER-2.2

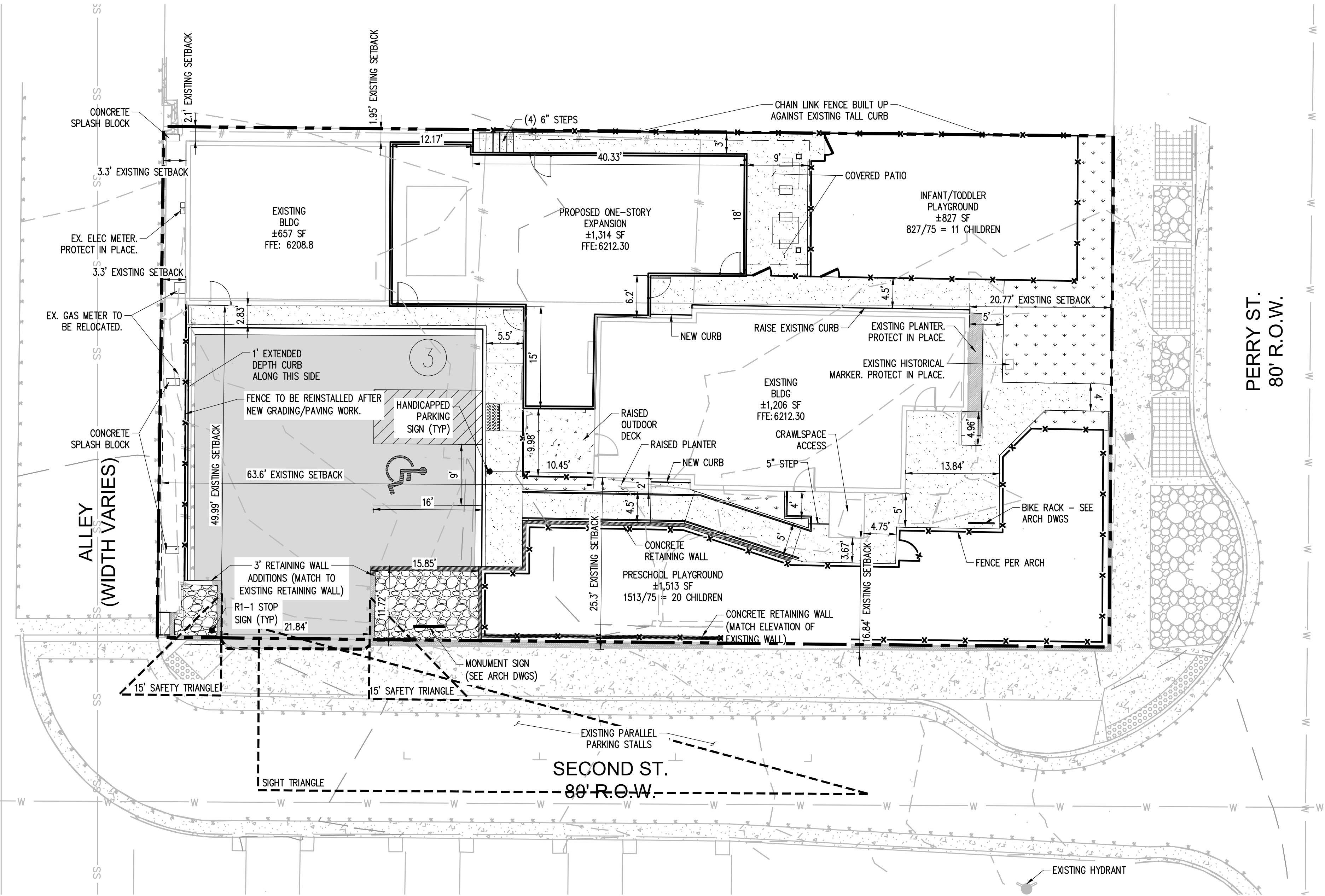
6 of 16



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# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



## LEGEND

	PORTLAND CEMENT CONCRETE PAVEMENT
	ASPHALTIC CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PROPERTY LINE
	EDGE OF PAVEMENT
	CURB AND GUTTER
	SAW CUT
	BUILDING
	FENCE
	ROCK GARDEN
	EXISTING HARDSCAPE (TO REMAIN)

## NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/TOWN/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY DAVID E. ARCHER & ASSOCIATES INC., DATED 10/15/2021. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE TOWN ENGINEER'S APPROVAL PRIOR TO ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

## ZONING DATA

LOT 1	0.245± AC
TOTAL	0.245± AC
ZONING:	B (BUSINESS/COMMERCIAL)
LOCAL JURISDICTION:	CASTLE ROCK, COLORADO

## PARKING DATA

PARKING PROVIDED	
STANDARD STALLS	= 2 STALLS
ACCESSIBLE STALLS	= 1 STALL
TOTAL STALLS	= 3 STALLS

PARKING REQUIRED: 3

TYPICAL STALL DIMENSIONS:  
9' X 19' STANDARD

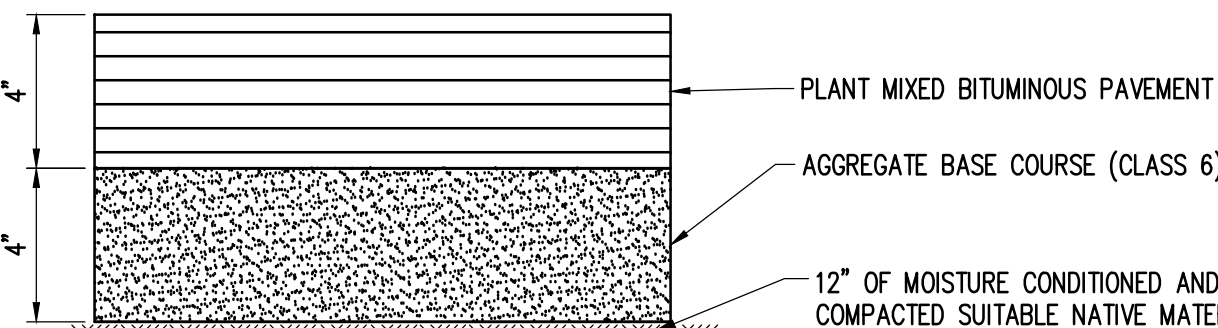
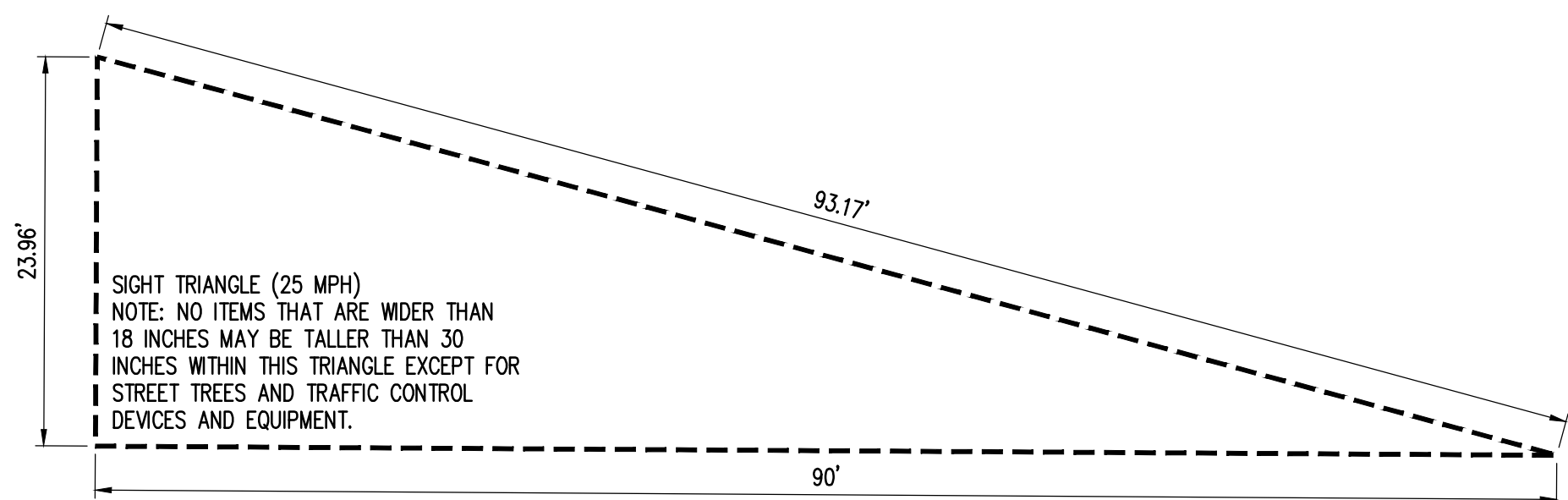
BIKE PARKING: 1

NOTE: BASED ON THE TRAFFIC IMPACT STUDY FOR A LITTLE SCHOOL ON PERRY STREET, CASTLE ROCK, COLORADO, REVISED DECEMBER 2023 BY SM ROCHA LLC, TRAFFIC PRODUCED BY THIS SITE SHOULD HAVE MINIMAL IMPACT ON SECOND ST AND PERRY ST.

## PAVEMENT NOTES

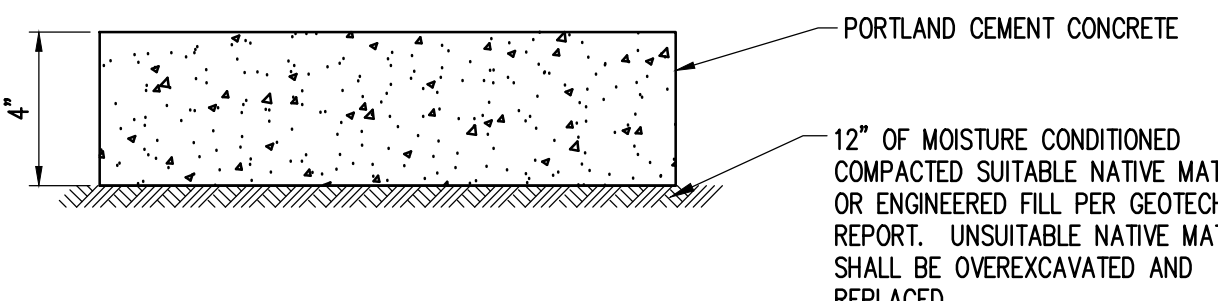
- MATERIAL THICKNESS IS COMPACTED DEPTH. APPLIES TO ALL SECTIONS.
- SUITABLE ON-SITE SOILS SHALL BE FREE OF DELETERIOUS MATERIALS AND MAY BE USED FOR SUBGRADE PROVIDED SOILS MEET REQUIREMENTS AS SET FORTH IN THE GEOTECHNICAL REPORT.
- PROOFROLLING OF PAVEMENT SUBGRADES UNDER GEOTECHNICAL SUPERVISION SHOULD BE COMPLETED TO HELP IDENTIFY UNSTABLE AREAS. ANY INSTABILITY OF THE SUBGRADE SOILS OBSERVED AT THE TIME OF PROOFROLLING, SHOULD BE REPAIRED. IF PROOFROLLING CANNOT BE ACHIEVED, THE SUBGRADE SHALL BE STABILIZED.
- THE SUBGRADE SHOULD BE SCARIFIED TO THE REQUIRED DEPTH AND THEN COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS OBTAINED BY ASTM D698 AND MOISTURE CONTENT BETWEEN -2 TO +2 PERCENTAGE POINTS OF OPTIMUM MOISTURE CONTENT. BASE COURSE MATERIAL SHOULD BE PLACED IMMEDIATELY UPON COMPLETION OF THE SUBGRADE COMPACTION OPERATION TO PREVENT DRYING OF THE SOILS DUE TO EXPOSURE.
- ASPHALTIC CONCRETE SHOULD CONSIST OF A BITUMINOUS PLANT MIX COMPOSED OF A MIXTURE OF AGGREGATE, FILLER, BINDERS AND ADDITIVES (IF REQUIRED) MEETING THE DESIGN REQUIREMENTS FOR THE TOWN OF CASTLE ROCK. AGGREGATE USED IN ASPHALT CONCRETE SHOULD MEET TABLE 11 OF THE PAVEMENT MATERIALS AS INDICATED IN THE PROJECT GEOTECHNICAL REPORT.
- AGGREGATE BASE COURSE SHOULD BE CONSISTENT WITH CDOT REQUIREMENTS FOR CLASS 6 AGGREGATE BASE.
- ALL ASPHALT PAVEMENTS MATERIALS SHALL COMPLY WITH TOWN OF CASTLE ROCK AND MPEC SPECIFICATIONS.
- SEE "GEOTECHNICAL ENGINEERING REPORT - THE LITTLE SCHOOL ON PERRY STREET, 203 PERRY STREET, - CASTLE ROCK, COLORADO 80104" PREPARED BY TRIAX ENGINEERING DATED SEPTEMBER 22, 2023 FOR MORE INFORMATION.
- SEE TOWN OF CASTLE ROCK STANDARDS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING ASPHALT AND CONCRETE PAVEMENTS.

## SIGHT TRIANGLE DIMENSIONS



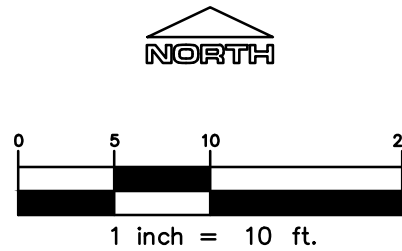
## PARKING/LIGHT DUTY PAVEMENT

1



## SIDEWALK/CONCRETE

2



Know what's below.  
Call before you dig.

NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

541 E. Garden Drive,  
Unit N  
Windsor, CO 80550

T (877) 863-4562  
W ridgektopeng.com

PROJECT TITLE

LITTLE SCHOOL  
ON PERRY ST

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR

MISSION CAPITAL  
PROPERTIES  
BAYSIDE

SUBMITTAL

CONSTRUCTION  
DOCUMENTS

DRAWN BY:

AJS

CHECKED BY:

MRB

PROJECT NO.:

23-222-002

REVISIONS

DATE

08/31/2023

SHEET TITLE

SITE PLAN

SHEET INFORMATION

C-1.0

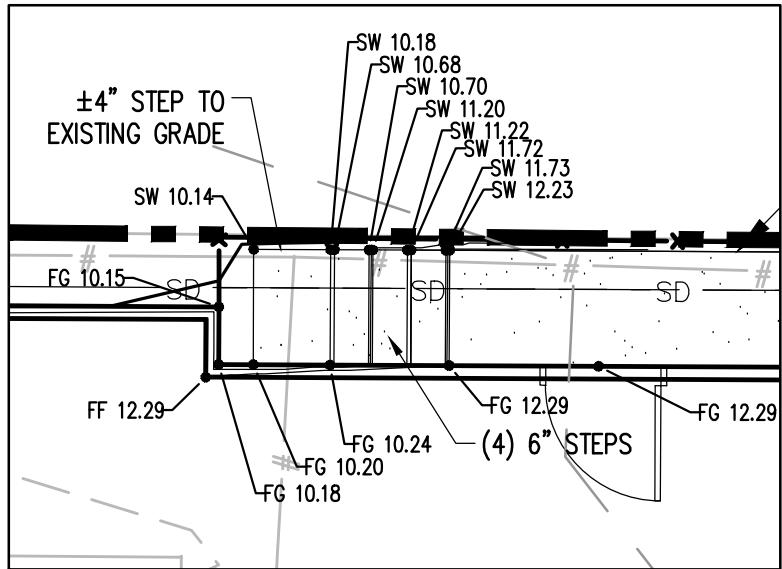
7

of

16



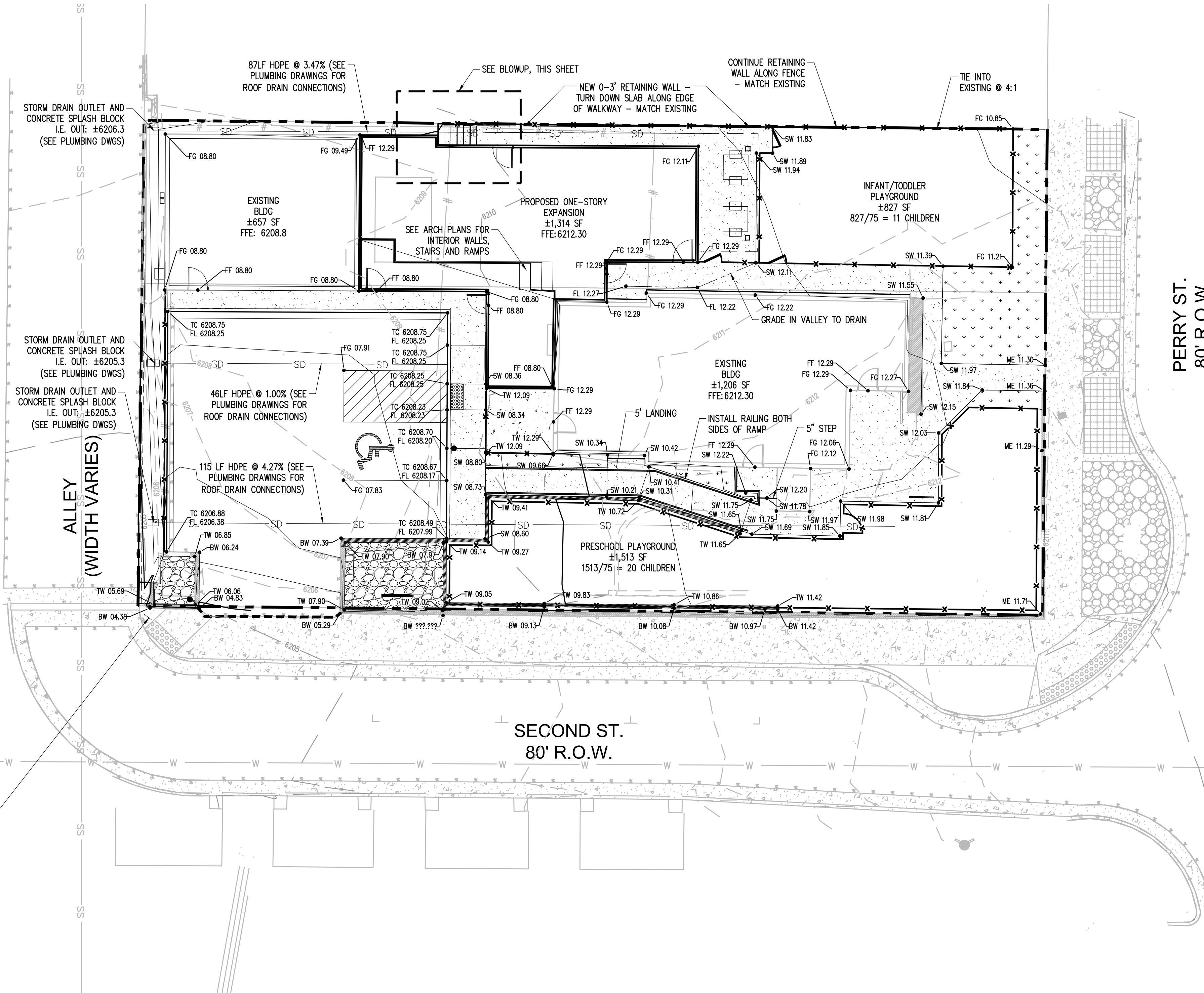
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SITE BLOWUP 1

# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



## LEGEND

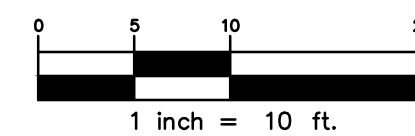
EX. CONTOUR	-24-
PROPOSED CONTOUR	322
PROPERTY LINE	---
SPOT ELEVATION	4653
TOP OF CURB	TC
FINISHED GRADE	FG
FINISHED FLOOR	FF
SIDEWALK	SW
MATCH EXISTING	ME
FLOW LINE	FL
HIGH POINT	HP
TOP OF WALL	TW
BOTTOM OF WALL	BW

## NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/TOWN/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY DAVID E. ARCHER & ASSOCIATES INC., DATED 10/15/2021. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN FOR THE CITY ENGINEER'S APPROVAL PRIOR TO ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
- REFER TO BOUNDARY SURVEY FOR LEGAL DESCRIPTION, DIMENSIONS OF PROPERTY LINES, BASIS OF BEARINGS & BENCHMARK INFORMATION.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.

## GRADING NOTES

- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE IBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
- ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
- FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
- REUSE OF NATIVE MATERIAL PERMITTED IF PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR.
- SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PAVEMENT, SWALE FLOWLINE, OR FINISHED GRADE, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PERFORM A CUT AND FILL QUANTITY CALCULATION AND INCLUDE IN THE BASE BID. ANY CUT OR FILL REQUIRED IN ADDITION TO THE BASE BID SHALL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND ARENAS. ADDITIONAL SWALES OR MINOR CHANNELIZATION GRADING EFFORTS MAY BE REQUIRED PRIOR TO SEEDING OR INSTALLING GRAVEL, ETC.



NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, Windsor, CO 80550  
T (877) 663-4652  
W ridgeTOPeng.com

PROJECT TITLE

LITTLE SCHOOL  
ON PERRY ST

PREPARED FOR

MISSION CAPITAL  
PROPERTIES  
BAYSIDE

SUBMITTAL

CONSTRUCTION  
DOCUMENTS

DRAWN BY:

AJS

CHECKED BY:

MRB

PROJECT NO.:

23-222-002

REVISIONS


DATE

08/31/2023

SHEET TITLE

GENERAL  
GRADING  
PLAN

SHEET INFORMATION

C-2.0

8

of

16



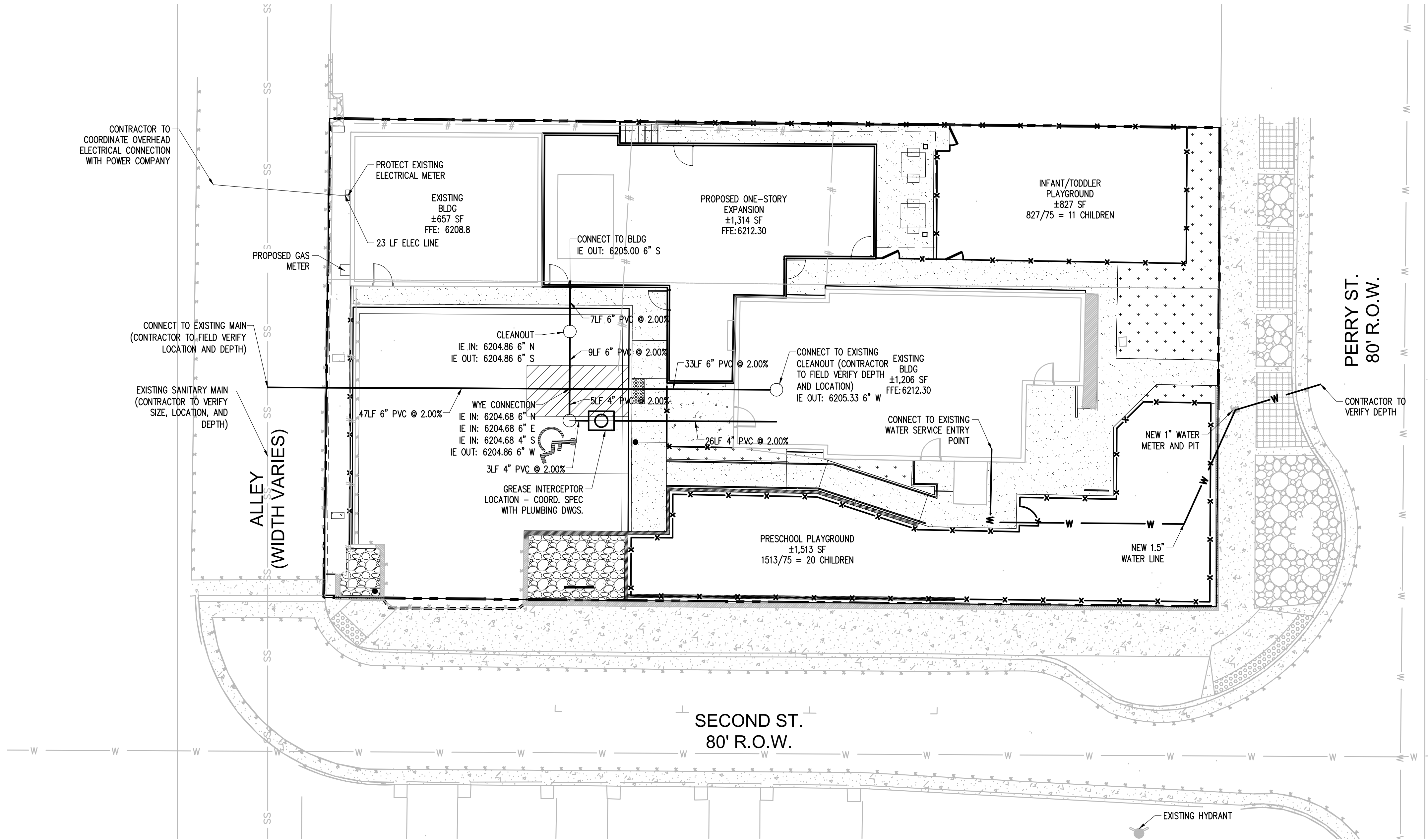
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# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## LEGEND

---	PROPERTY LINE
=====	CURB AND GUTTER
-x-x-	FENCE
---	BUILDING SETBACK
=====	PROPOSED BUILDING
-W-	WATER LINE
-SS-	SEWER LINE
-G-	GAS LINE
-E-	ELECTRIC LINE
-T-	COMMUNICATIONS LINE
⊙	SANITARY MANHOLE

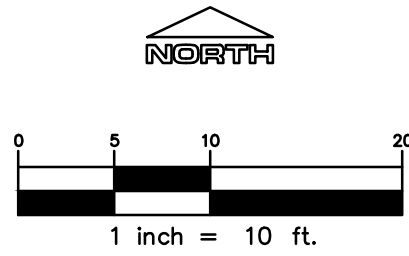


## GENERAL UTILITY NOTES

- ALL IMPROVEMENTS SHALL MEET LOCAL, STATE DOT AND A.P.W.A. STANDARD SPECIFICATIONS.
- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- ALL FILL MATERIAL SHALL BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- MINIMUM WATER AND SANITARY SEWER TRENCH WIDTH SHALL BE 2 FEET.
- ALL UTILITIES SHOULD BE KEPT TEN (10") APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINE (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL BE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 AND ANSI A21.11 (AWWA C-151) (CLASS 50).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE SPECIFICATIONS OF THE LOCAL AUTHORITIES WITH REGARD TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- CONTRACTOR TO PROVIDE TRENCHING, BACKFILL, 2 - 4" PVC SCHEDULE 40 CONDUITS, AND PULLING WIRES FOR UNDERGROUND TELEPHONE SERVICE FROM EXISTING FACILITIES AS SHOWN ON PLANS. CONTRACTOR TO COORDINATE INSTALLATION AND POINT OF CONNECTION WITH UTILITY PROVIDER.
- CONTRACTOR IS TO PROVIDE TRENCHING, CONDUIT, AND BACKFILL FOR ALL UNDERGROUND POWER LINE AND VAULTS AS REQUIRED BY UTILITY PROVIDER. POWER LINES AND POLES TO BE INSTALLED BY UTILITY PROVIDER. SEE SITE ELECTRICAL PLAN FOR SITE LIGHTING AND FOR PRIMARY ELECTRIC SERVICE LOCATIONS.
- GAS PIPING SHOWN FOR COORDINATION ONLY. INSTALLATION OF THE GAS MAIN AND METER TO BE ACCOMPLISHED BY UTILITY PROVIDER.
- BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED INSIDE THE BUILDING FOR EACH APPLICABLE USE INCLUDING DOMESTIC, FIRE, AND IRRIGATION SYSTEMS. CONTRACTOR SHALL COORDINATE AND SUPPLY A BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT UPON INSTALLATION. OWNER IS REQUIRED TO SUPPLY AN ANNUAL BACKFLOW TEST REPORT TO THE WATER AND SEWER DEPARTMENT.

## UTILITY NOTES

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. REVISED: 11/5/2019
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.



NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO	
SEAL	
PROJECT TITLE	LITTLE SCHOOL ON PERRY ST
PREPARED FOR	MISSION CAPITAL PROPERTIES BAYSIDE
203 PERRY ST. CASTLE ROCK, CO 80104	
SUBMITTAL	CONSTRUCTION DOCUMENTS
DRAWN BY:	KNW
CHECKED BY:	MRB
PROJECT NO.:	23-222-002
REVISIONS	
DATE	08/31/2023
SHEET TITLE	GENERAL UTILITY PLAN
SHEET INFORMATION	C-3.0
9 of 16	



LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

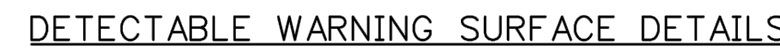
PROJECT TITLE

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR

MISSION CAPITAL  
PROPERTIES  
BAYSIDE

## ADA CURB RAMP DETAILS



## PAVEMENT NOTES

1. MATERIAL THICKNESS IS COMPACTED DENSITY, APPLIES TO ALL SECTIONS.
2. SUITABLE ONKNE SOILS SHALL BE FREE OF DELETERIOUS MATERIALS AND MAY BE USED FOR SUBGRADE PROVIDED SOILS MEET REQUIREMENTS AS SET FORTH IN THE GEOTECHNICAL REPORT.
3. PROOFROLLING OF PAVEMENT SUBGRADE UNDER GEOTECHNICAL SUPERVISION SHOULD BE COMPLETED TO HELP IDENTIFY UNSTABLE AREAS. AFTER INSTANTLY THE SUBGRADE OF THE SUBGRADE SOILS OBSERVED AT THE TIME OF PROOFROLLING, SHOULD BE REPAIRED. IF PROOFROLLING CANNOT BE ACHIEVED, THE SUBGRADE SHOULD BE STABILIZED.
4. THE SUBGRADE SHOULD BE SCARIFIED TO THE REQUIRED DEPTH AND THEN COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS OBTAINED BY ASTM D698 AND MOISTURE CONTENT BETWEEN -2 TO +2 PERCENTAGE POINTS OF OPTIMUM MOISTURE CONTENT. BASE COURSE MATERIAL SHOULD BE PLACED IMMEDIATELY UPON COMPLETION OF THE SUBGRADE COMPACTION OPERATION TO PREVENT DRYING OF THE SOILS DUE TO EXPOSURE.
5. ASPHALTIC CONCRETE SHOULD CONSIST OF A BITUMINOUS PLANT MIX COMPOSED OF A MIXTURE OF AGGREGATE, FILLER, BINDERS AND FILLER (AS REQUIRED) MEETING THE DESIGN REQUIREMENTS OF THE CITY AND COUNTY OF DENVER. AGGREGATE USED IN ASPHALTIC CONCRETE SHOULD MEET SPECIFIC GRAVITY REQUIREMENTS SUCH AS COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) GRADING S OR SG (BOTTOM LIFTS) OR SX (TOP LIFT ONLY) SPECIFICATIONS, OR EQUIVALENT.
6. AGGREGATE BASE COURSE SHOULD BE CONSISTENT WITH CDOT REQUIREMENTS FOR CLASS 6 AGGREGATE BASE, PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES THICK AND COMPACTED TO AT LEAST 95% OF THE MATERIALS STANDARD PROCTOR MAXIMUM DRY DENSITY.
7. ASPHALT PAVEMENTS SHALL CONFORM TO SPECIFICATIONS IN CDOT SECTION 401 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
8. "GEOTECHNICAL ENGINEERING REPORT - THE LITTLE SCHOOL ON PERRY STREET, 203 PERRY STREET. - CASTLE ROCK, COLORADO 80104" PREPARED BY TRIAX ENGINEERING DATED SEPTEMBER 22, 2023 FOR MORE INFORMATION.
9. SEE TOWN OF CASTLE ROCK STANDARDS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING ASPHALT AND CONCRETE PAVEMENTS.

NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S ½ OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

SUBMITTAL  
CONSTRUCTION  
DOCUMENTS

DRAWN BY: A.  
CHECKED BY: MF  
PROJECT NO.: 23-222-01  
REVISIONS

DATE

08/31/2023

SHEET TITLE

## DETAILS

SHEET INFORMATION

C-9.0

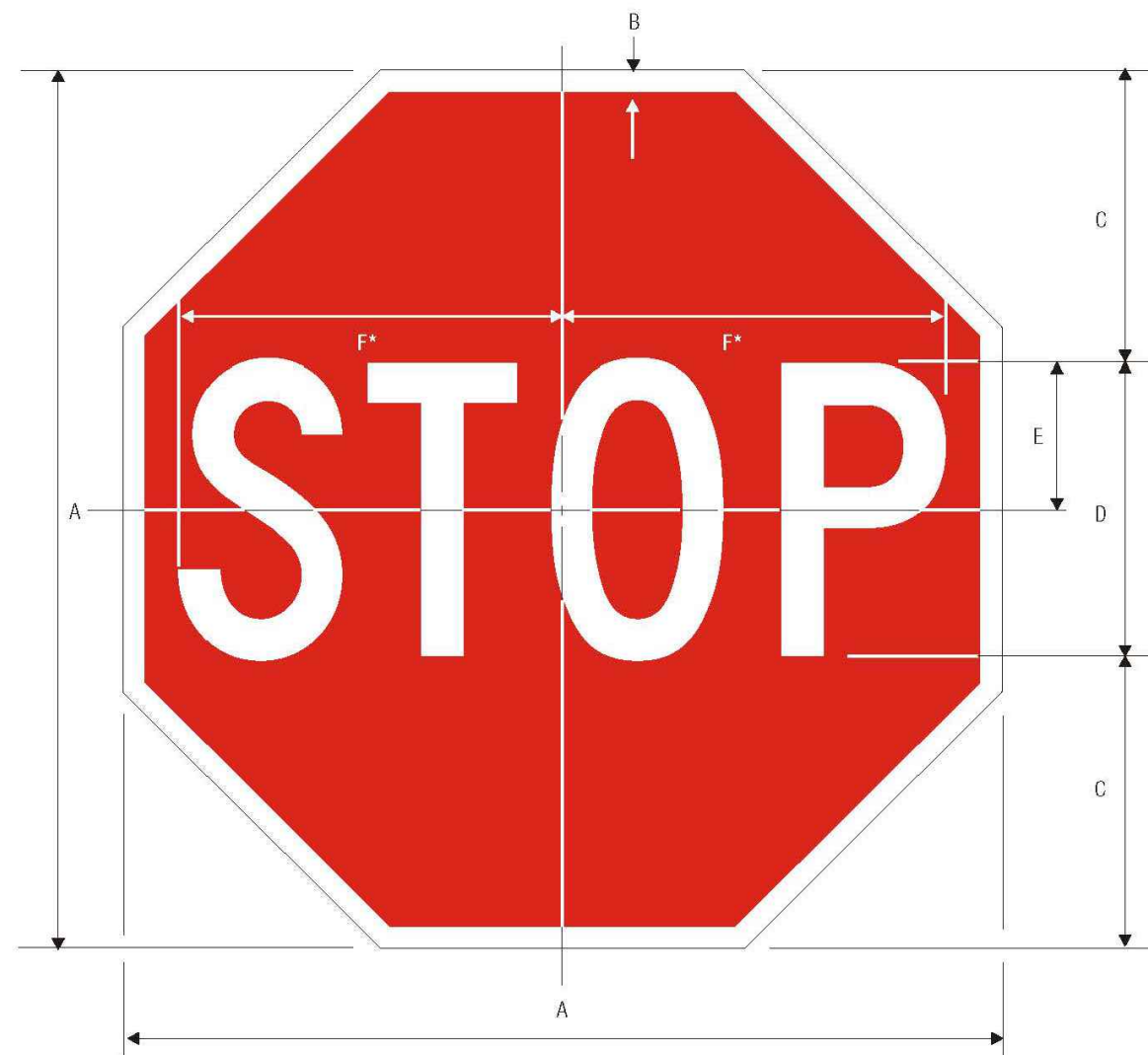
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# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



R1-1  
STOP

\*Reduce spacing 40%

A	B	C	D	E	F
18	.375	6	6 C	3	7.75
24	.625	8	8 C	4	10
30	.75	10	10 C	5	12.5
36	.875	12	12 C	6	15
48	1.25	16	16 C	8	20

COLORS: LEGEND — WHITE (RETROREFLECTIVE)  
BACKGROUND — RED (RETROREFLECTIVE)

1-1

## R1-1 STOP SIGN DETAIL

NTS

1



LEGEND — GREEN (RETROREFL) BACKGROUND — WHITE (RETROREFL)



LEGEND — RED (RETROREFL) BACKGROUND — WHITE (RETROREFL)

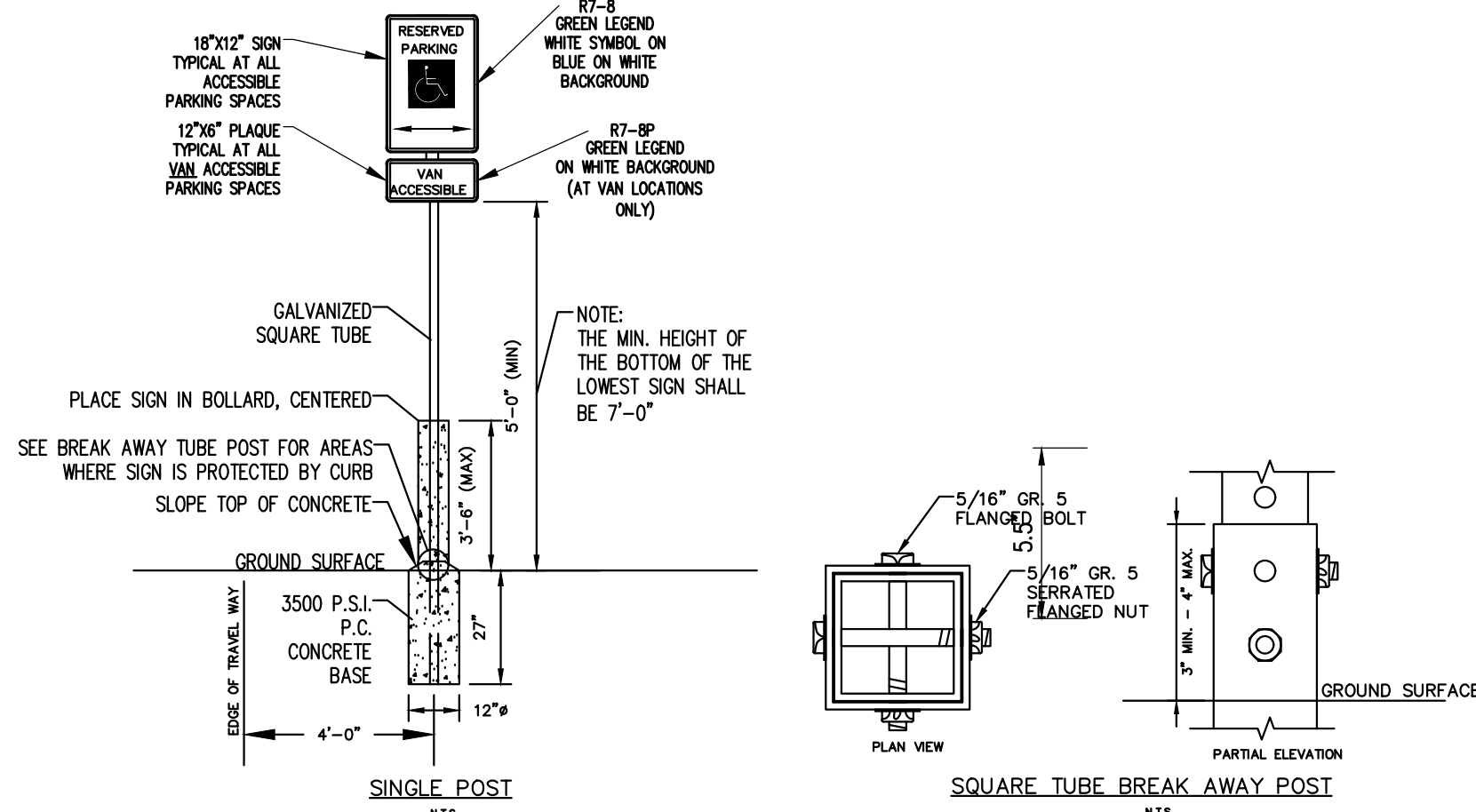
\*Reduce spacing 50%.  
\*\*See page 6-31.  
\*\*\*See page 6-2 for arrow design.

1-92

## R7-8 HANDICAPPED PARKING SIGN DETAIL

NTS

2



### NOTES:

- ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

- GALVANIZED SQUARE TUBE

POST TUBES — 2"x2"x3/16" 12ga  
POST TUBE SHALL MEET ASTM A1011 GRADE 50.  
POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.

ANCHOR TUBE — 2-1/4"x2-1/4"x3/16" 12ga  
HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.  
STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123.

THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN. 4" MAX. EXPOSED ABOVE FINISH GRADE.

## SIGN DETAILS

NTS

3

LOGO



SEAL

PROJECT TITLE

LITTLE SCHOOL  
ON PERRY ST

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR

MISSION CAPITAL  
PROPERTIES  
BAYSIDE

SUBMITTAL

CONSTRUCTION  
DOCUMENTS

DRAWN BY: AUS

CHECKED BY: MRB

PROJECT NO.: 23-222-002

REVISIONS


DATE

08/31/2023

SHEET TITLE

DETAILS

SHEET INFORMATION

C-9.1

11 of 16



Know what's below.  
Call before you dig.

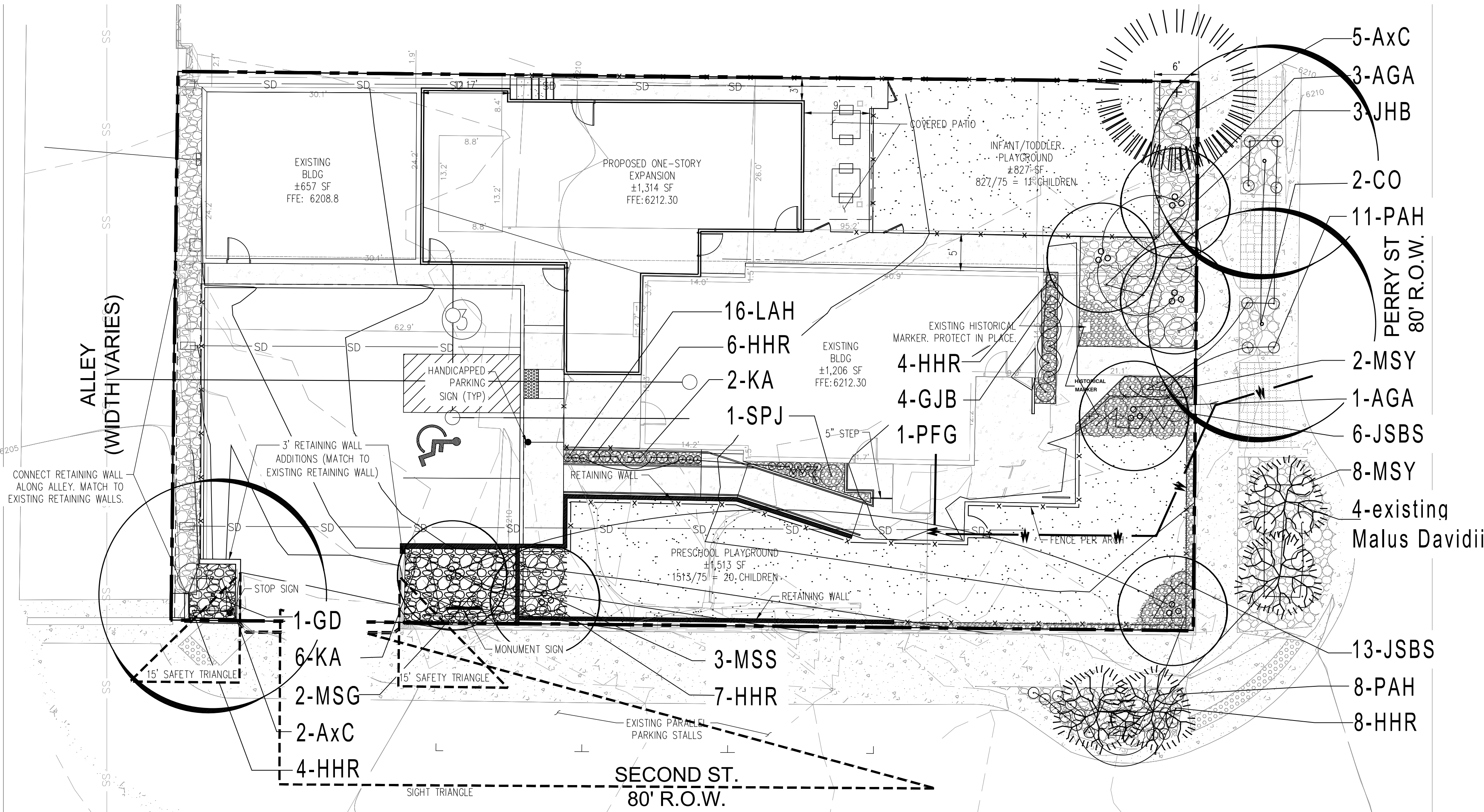
NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032



CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



ANNUAL WATER NEEDS

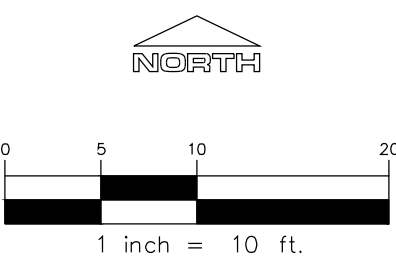
LOW WATER ZONE

1,144sf x 7gal. = 8,000 gallons annually

PLANTING SCHEDULE								
TYPE	KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	SIZE AT MATURITY	NOTES	WATER USE
Trees								
Shade Tree	CO	2	Celtis occidentalis	Western Hackberry	2.0" Cal.	30'-50'	B & B	L
	GD	1	Gynocladus dioicus	Kentucky Coffeetree	2.0 cal.	30'-50'	B & B	L
Ornamental	AGA	4	Amelanchier Grandiflora 'Autumn Brilli'	Autumn Brilliant Serviceberry	1.5" Cal	15'-20'	B & B	L-M
	MSS	3	Malus 'Spring Snow'	Spring Snow Crabapple	1.5" Cal	15'-20'	B & B	M
Shrubs								
Evergreen Shrub	JHB	3	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Juniper	5 gal.	3'-4'	5' OC	L
	JHBC	19	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper	5 gal.	2'-3'	5' OC	L
Deciduous	AxC	7	Arctostaphylos X Coloradoensis	Panchito Manzanita	5 Gal	3'	5' OC	L
	SJN	1	Spiraea Japonica 'Neon Flash'	Neon Splash Spirea	5 Gal	3'	3' OC	L
Perennials & Ornamental Grasses								
Perennial	KA	8	Calamagrostis X Acutiflora 'Karl Forester'	Karl Forester Grass	1 Gal		4' OC	L
	GJB	4	Geranium 'Johnson's Blue'	Blue Cranesbill	1 gal		30" OC	L
	PAH	19	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1 gal		18" OC	L
	MSY	10	Miscanthus sinensi 'Yaku Jima'	Yaku Jima Maiden Grass	2 gal		30" OC	L
	LAH	16	Lavendula angustifolia 'Hidcote'	Deep Blue Lavender	1 gal.		12" OC	L
	MSG	2	Miscanthus sinensis 'Gracillimus'	Maiden Grass	5 gal		5' OC.	L

PLANT LEGEND

- DECIDUOUS CANOPY TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- EXISTING TREE
- EVERGREEN SHRUBS
- EXISTING ROCK MULCH
- 3/4" RIVER ROCK
- SYNTHETIC TURF
- 1" DECORATIVE ROCK



NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

ENGINEERING & SURVEYING  
541 E. Garden Drive,  
Windsor, CO 80550  
T. (970) 683-4552  
W. ridgetopeng.com

SEAL

PROJECT TITLE

LITTLE SCHOOL ON PERRY ST

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR

MISSION CAPITAL PROPERTIES BAYSIDE

SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY: ###

CHECKED BY: MRB

PROJECT NO.: 23-222-002

REVISIONS


DATE

08/31/2023

SHEET TITLE

LANDSCAPE PLAN

SHEET INFORMATION

LS1

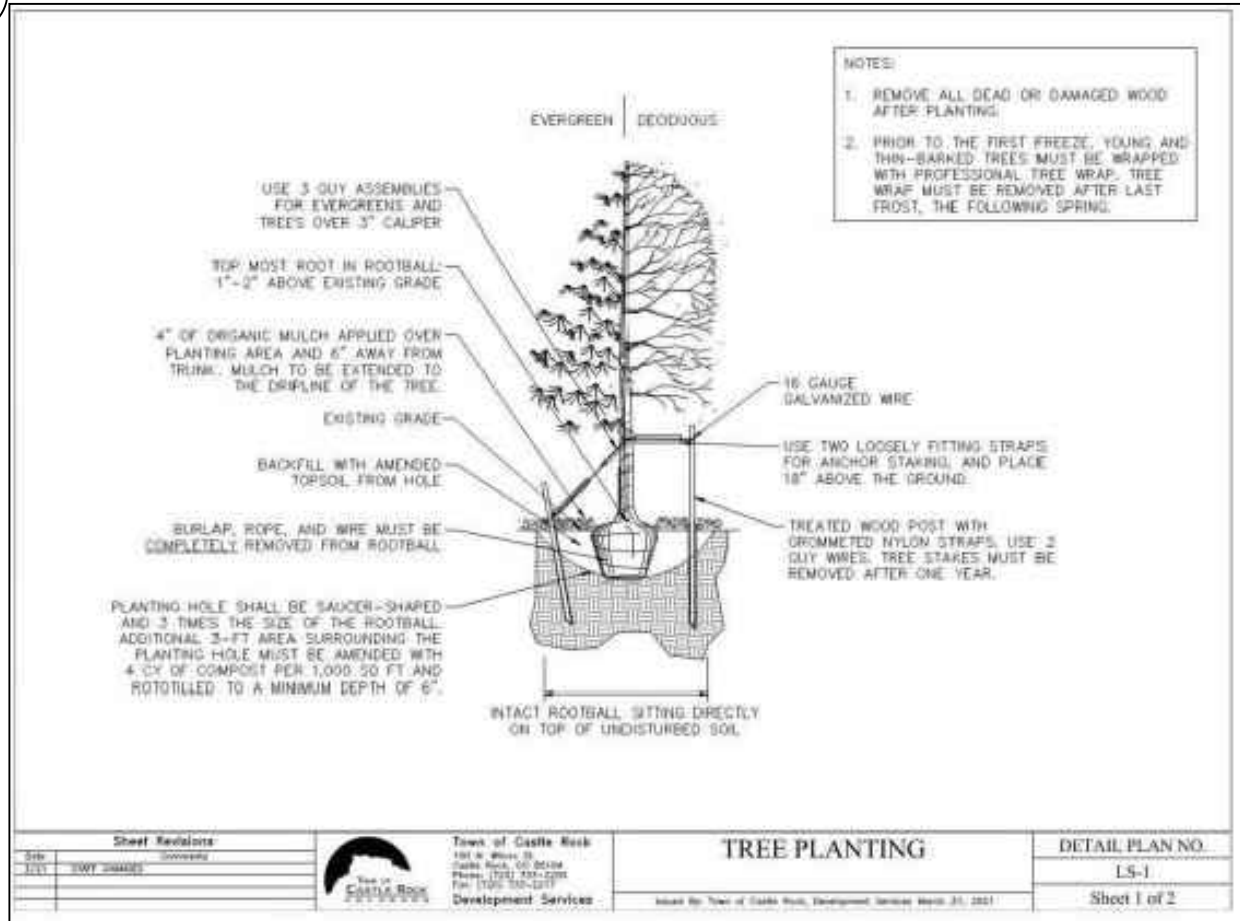
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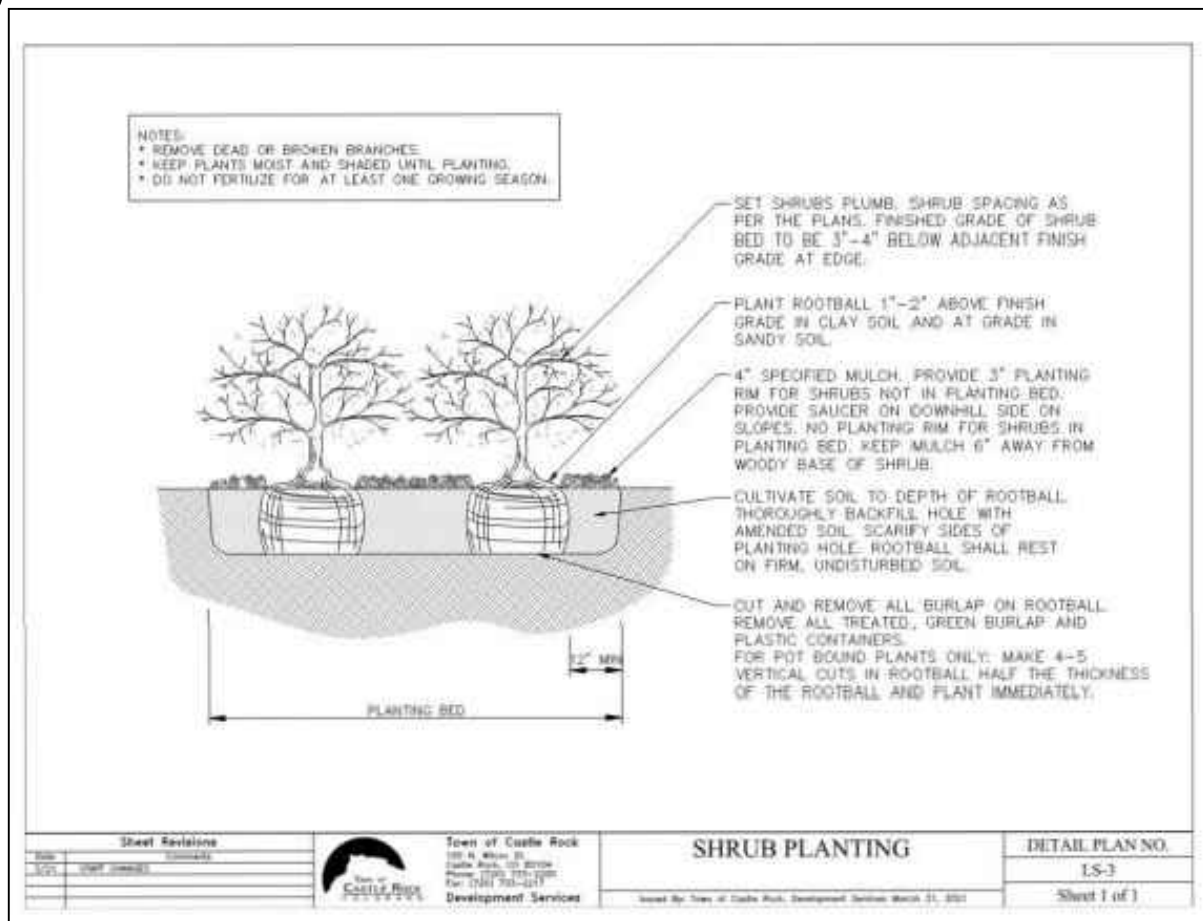
# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

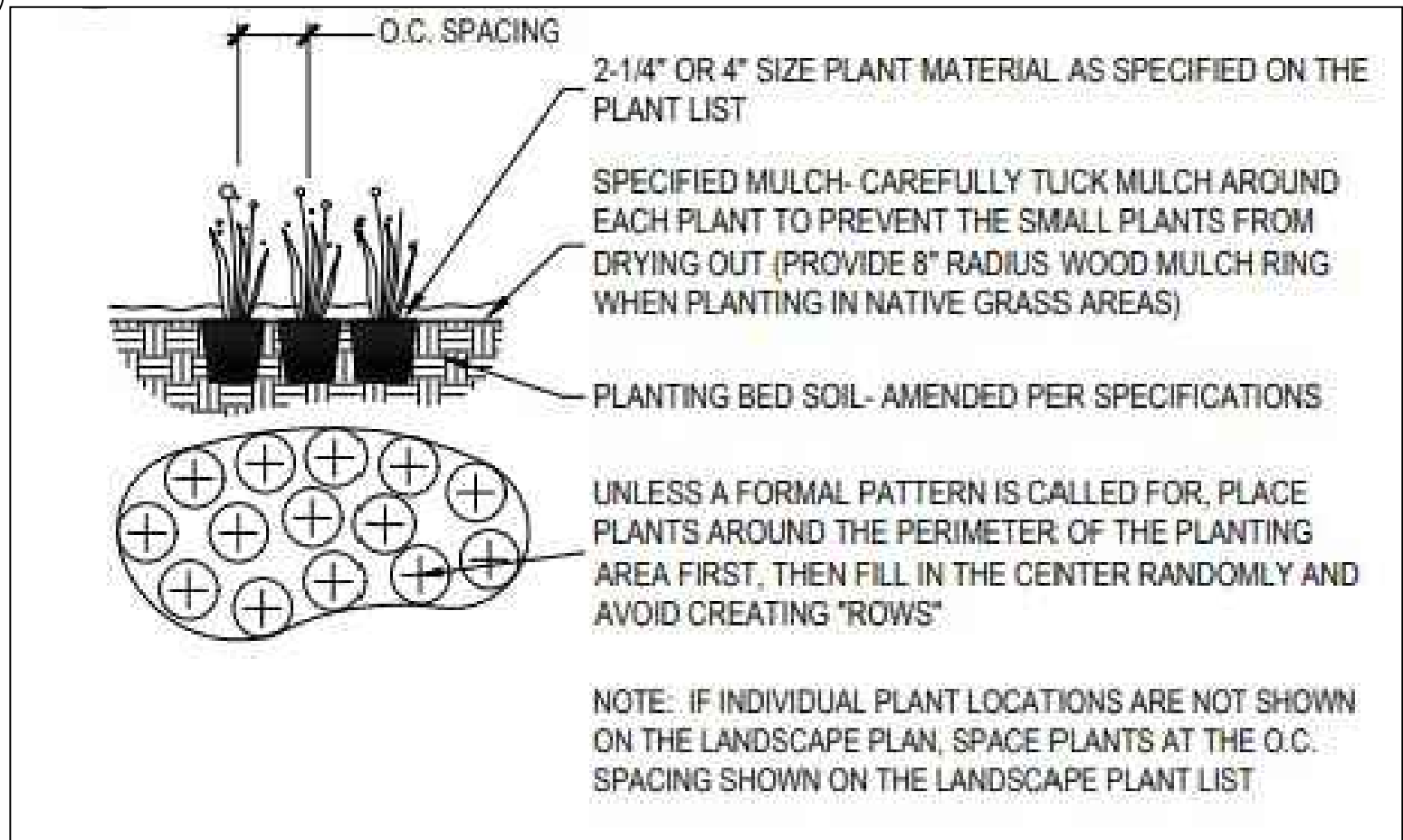
## A PLANTING DETAIL FOR ALL TREES



## B PLANTING DETAIL FOR SRHUBS



## C PLANTING DETAIL FOR PRENNIALS



### DOWNTOWN LANDSCAPE TABLES

The required number of trees is based off the total linear feet of property fronting along a public roadway.  
Large canopy trees receive a credit of 22 linear feet and small canopy trees receive a credit of 15 linear feet.  
The total linear feet credit must equal or exceed total linear feet of public roadway frontage

Street Name	Linear Feet (LF)
Wilcox Street	76
Fourth Street	140
Total	216

Tree Type	Number of Trees	Linear Credit per Tree	Linear Credit
Small Canopy Trees	11	15	165
Large Canopy Trees	4	22	88
Total			253

A T

Plantings	Number of Plantings	Tree Credit
Shrubs	25	5
Perennials	56	8
Trees above minimum requirements	2	0
Total		13

The Required Number of Plantings is based off the number of trees  
Five Shrubs per required tree  
Seven Perennial plants per required tree  
One Tree per required tree

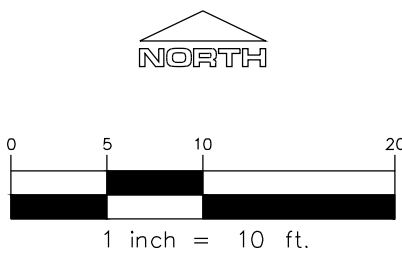
COMPOSITE LANDSCAPE WATER USE RATING CHART	
LANDSCAPE ZONE	LWU RATING RANGE
Very low	0.0 to 1.5
Low Water Use	+1.5 to 3.0
Moderate Water Use	+3.0 to 4.5
High Water Use	+4.5

SITE UTILIZATION TABLE			
BUILDING FOOTPRINT	3,290 SF	0.07 AC	31%
OPEN SPACE	3,153 SF	0.07 AC	30%
PARKING, DRIVES & SIDEWALKS	4,102 SF	0.09	39%
TOTAL	10,545 SF	0.24 AC	100%

CLWUR CHART (LWUR X IA) /TA								
IRRIGATION ZONE	PLANT NAME	APP RATE (INCHES/MONTH)	ZONE (VL, L, M, H)	% OF TOTAL AREA	IA (Irrigated area in SF for each zone)	LWUR (Landscape Water Use Rating)	TA (Total area of all irrigated landscape zones)	CLWUR (LWUR X IA/TA)
Drip	Deciduous Shrub and Perennial beds	2	Low	100%	1,144 SF	2	1,144 SF	2
TOTALS					1,144 SF			2

### LANDSCAPE NOTES

- Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this drawing and shall conform to subsequent submittal requirements.
- Location of plant materials are approximated and may change slightly due to unforeseen field constraints.
- All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
- Distance of trees to wet utility lines should be a minimum of 10 feet.
- Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
- Design must accommodate the watering restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
- Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
- Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations Section 4.2.3 and to correlate with the use type on the property.
- If any transformers, ground-mounted HVAC units, utility pedestals, or similar features existing on site, but not shown on the Site Development Plan, additional landscaping and screening may be required based upon field conditions determined during the site inspection. Installation will be required prior to the final inspection and the issuance of the certificate of occupancy, as applicable.
- No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including, but not limited to building, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms shall be placed in sight distance triangles or easements as shown on the plan.
- No trees, large shrubs, or permanent structures are allowed in wet utility and drainage easements.
- An irrigation plan is required with the first submittal of the Construction Documents. Please see Sections 3.1.2B and 4.2.3 of the Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual for irrigation submittal and design requirements. Changes to the landscape plan may be necessary due to Construction Documents Irrigation Plan review comments.
- Landscape and irrigation shall be installed by a Town of Castle Rock registered landscape contract professional.
- Dead plant materials shall be removed and replaced with healthy planting materials of comparable size and species that meet the original intent of the approved landscape design within forty-five(45) days or sooner in the event of a contagious disease or invasive insect species. Town of Castle Rock is not responsible for plant replacements.
- Slopes steeper than 3:1 are not permitted on landscape plans in the Town of Castle Rock.



NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

RIDGE TOP  
ENGINEERING & SURVEYING  
541 E. Garden Drive, Unit N  
Windsor, CO 80550  
T: (970) 683-4652  
W: ridgetopeng.com

SEAL

PROJECT TITLE

LITTLE SCHOOL ON PERRY ST

PREPARED FOR

MISSION CAPITAL PROPERTIES BAYSIDE

203 PERRY ST.  
CASTLE ROCK, CO 80104

SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY:

####

CHECKED BY:

MRB

PROJECT NO.:

23-222-002

REVISIONS

DATE

08/31/2023

SHEET TITLE

LANDSCAPE NOTES

SHEET INFORMATION

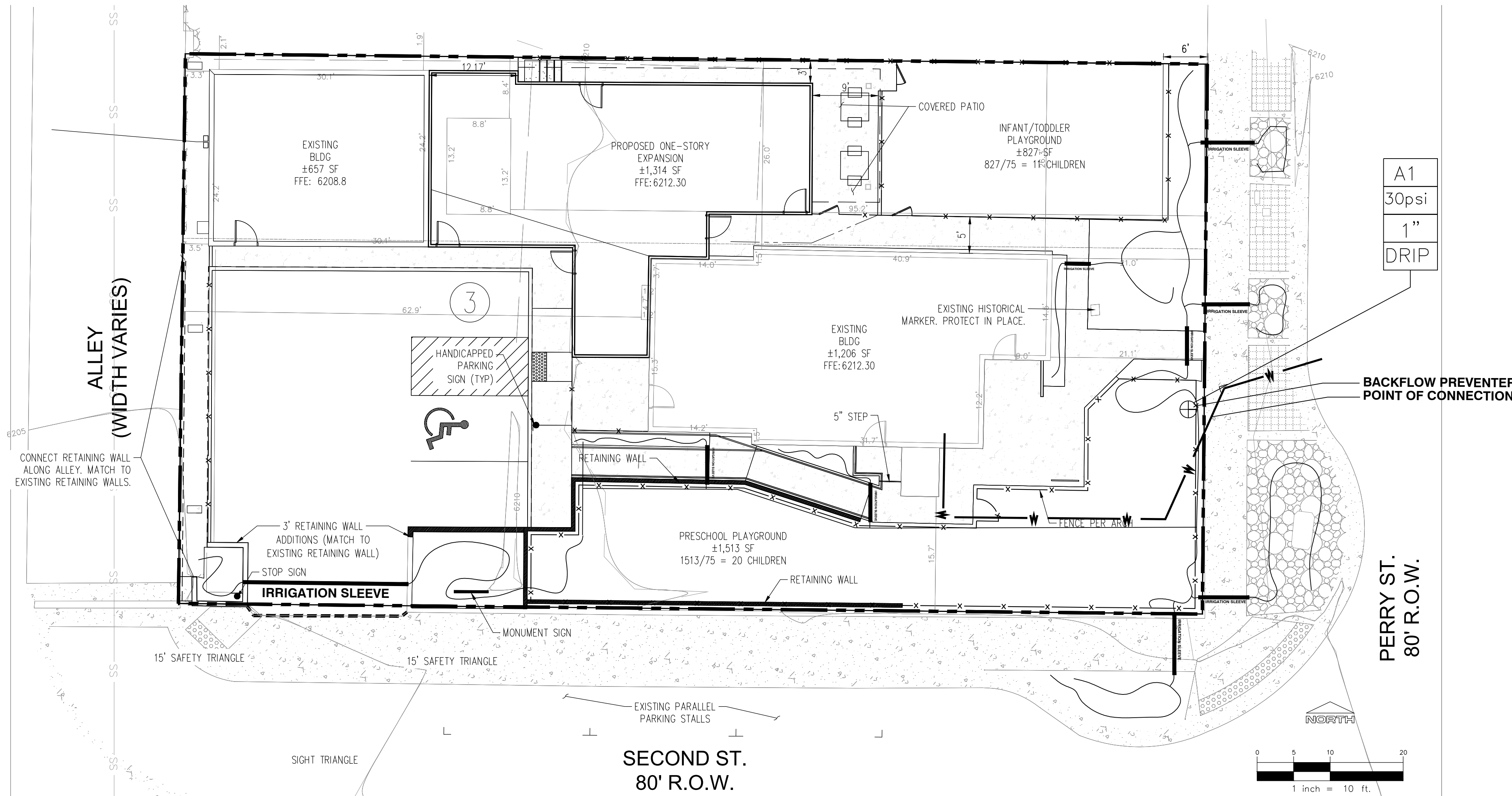
LS2

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# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- THE SYSTEM DESIGN ASSUMES A MINIMUM DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM OF 40 PSI. AT A MAXIMUM DISCHARGE OF 55 GPM AT THE IRRIGATION POINT OF CONNECTION 1 (POC1) VERIFY PRESSURE AND GLOW ON SITE PRIOR TO CONSTRUCTION.
- READ THOROUGHLY AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS AND RELATED WORK PRIOR TO CONSTRUCTION.
- COORDINATE UTILITY LOCATES (CALL BEFORE YOU DIG) DO NOT PROCEED WITH THE INSTALLATION OF THE IRRIGATION SYSTEM WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTION OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IF DISCREPANCIES IN CONSTRUCTION DETAILS, LEGEND, NOTES, OR DISCREPANCIES TO THE ATTENTION OF THE OWNERS REPRESENTATIVE.
- THE DRAWING ARE DIAGRAMMATIC. THEREFORE THE FOLLOWING SHOULD BE NOTED.
- ALTHOUGH IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE PLANTING AREAS FOR CLARITY INSTALL IRRIGATION PIPE AND WIRING IN THE LANDSCAPED AREAS WHENEVER POSSIBLE.
- TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. AVOID CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING MATERIALS, AND ARCHITECTURAL FEATURES.
- USE ONLY STANDARD TEE AND ELBOW FITTINGS. USE OF TEE FITTINGS IN THE BULL-NOSE CONFIGURATION, OR USE OF CROSS TYPE FITTINGS IS NOT ALLOWED.
- PROVIDE THE FOLLOWING COMPONENTS TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT:
  - TWO OPERATING KEYS FOR EACH TYPE OF MANUALLY OPERATED VALVES.
  - TWO OF EACH SERVICING WRENCH OR TOOL NEEDED FOR COMPLETE ACCESS' ADJUSTMENT, AND REPAIR OF ALL ROTARY SPRINKLERS.
  - "AS BUILT" IRRIGATION DRAWINGS
  - WATER BUDGET AND ZONE DESCRIPTIONS. SEE WITHIN THIRTY (30) DAYS OF THE INSTALLATION OF NEW LANDSCAPING, THE IRRIGATION SYSTEM CONTROLLER(S) SHALL BE RESET TO THE NORMAL SEASONAL WATERING SCHEDULE.
- INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES. THE IRRIGATION CONTROLLER MUST BE WALL MOUNTED IN THE PARTS STAGING AREA ADJACENT TO ELECTRICAL OUTLET LOCATED IN THE JANITORS ROOM WITH BACKFLOW PREVENTER
- THE FOLLOWING SHOULD BE NOTED REGARDING PIPE SIZING. IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME

- NOMINAL SIZE AS THE TWO SIZED SECTIONS. THE UNSIZED PIPE SHOULD NOT BE CONFUSED WITH THE DEFAULT PIPE SIZE NOTED IN THE LEGEND.
- INSTALL TWO #14 AWG CONTROL WIRES FROM CONTROLLER LOCATION TO EACH DEAD END OF MAINLINE FOR USE AS SPARES INCASE OF CONTROL WIRE FAILURE. COIL 3 FEET OF WIRE IN VALVE BOX. END OF WIRES SHALL BE CAPPED WITH WATERPROOF WIRE CONNECTORS
  - AUTOMATIC IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN AUTOMATIC RAIN DETECTION DEVICE.
  - THE WATER AND SEWER DEPARTMENT RESERVES THE RIGHT TO ENHANCE THE REQUIREMENTS OF THE BACKFLOW PREVENTER INSTALLATION BASED ON CITY REQUIREMENTS.
  - NATIVE GRASS AREA WILL BE WATERED UNTIL ESTABLISHED FOR UP TO THREE YEARS. TOUCH UP WATERING WILL BE DONE AS NEEDED AFTER ESTABLISHMENT
  - POST AT EACH SMART IRRIGATION CONTROLLER A DATA INPUT CHART INCLUDING THE PRECIPITATION RATE FROM THE AUDIT, WATER BUDGET, AND ZONE DESCRIPTIONS. SEE WITHIN THIRTY (30) DAYS OF THE INSTALLATION OF NEW LANDSCAPING, THE IRRIGATION SYSTEM CONTROLLER(S) SHALL BE RESET TO THE NORMAL SEASONAL WATERING SCHEDULE.

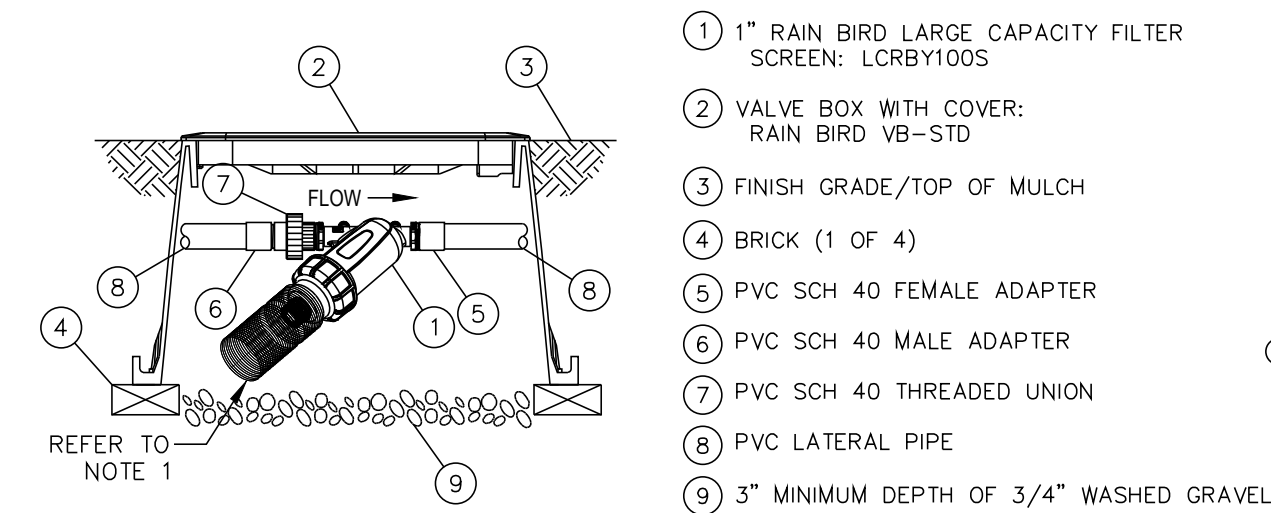
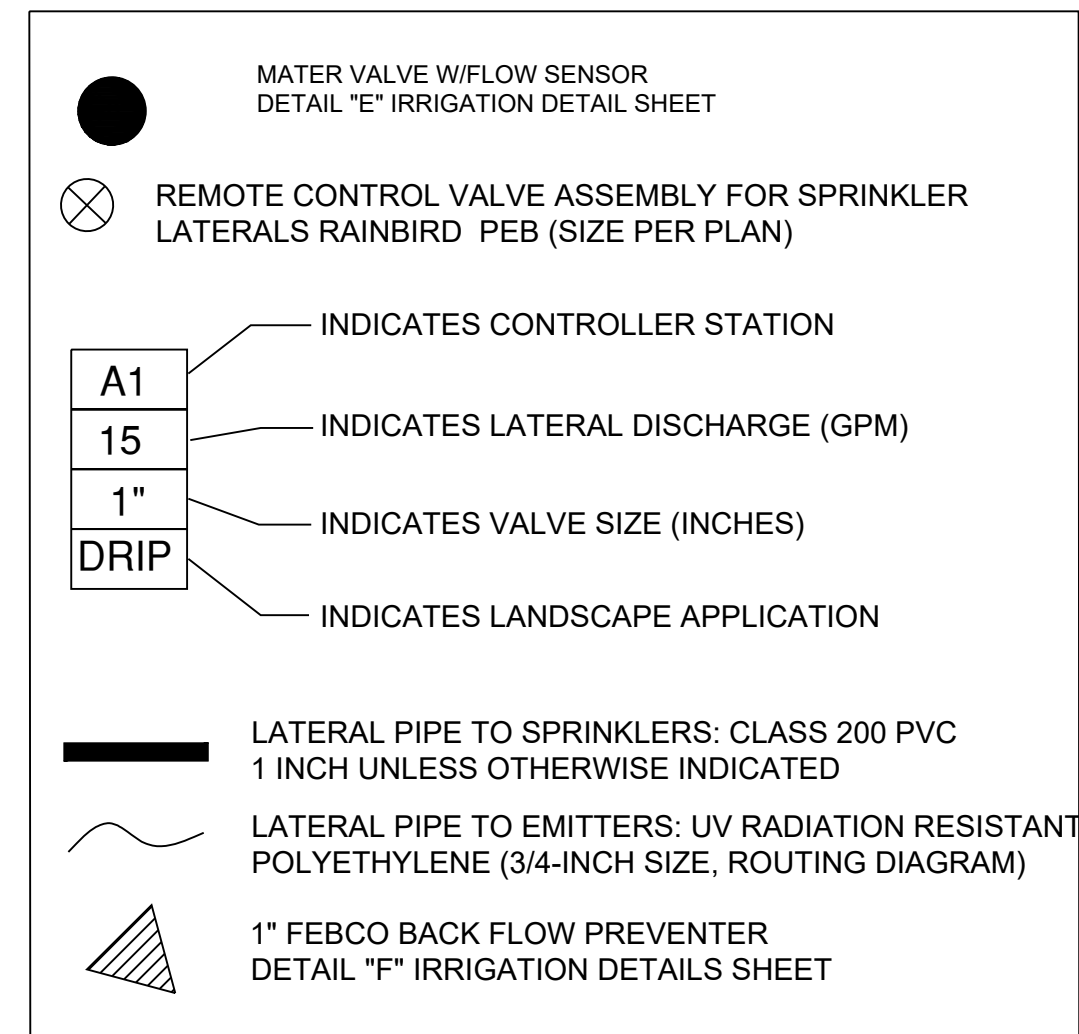
## EMITTER SCHEDULE

- IN CLAY OR LOAM SOILS, CONSIDER TWO 0.5 GPH EMITTERS AT THE BASE OF A PERENNIAL FLOWER TO ENSURE WATERING IF ONE FAILS. A 1 TO 5 FOOT SHRUB AND SMALL TREE LESS THAN 15 FEET AT MATURITY WILL INITIALLY REQUIRE TWO, 1 GPH EMITTERS 12 INCHES FROM THE BASE OF THE PLANT. CHANGE TO 2 AND THEN 4 GPH HIGHER FLOW EMITTERS IF PLANTING A LARGER SIZED TREE AND AS THE SMALL TREE GROWS. A 5 FOOT OR LARGER SHRUB MAY REQUIRE THREE 1GPH EMITTERS.
- A MEDIUM TREE 15 TO 25 FEET MAY ULTIMATELY REQUIRE FOUR EMITTERS TWO FEET FROM THE TRUNK. IF PLANTING A "WHIP", IT'S POSSIBLE TO START WITH TWO 0.5 GPH EMITTERS AND CHANGE TO HIGHER FLOW AND MORE EMITTERS AS THE TREE GROWS. BEGIN WITH THREE, 2 GPH EMITTERS ON A 1 INCH CALIPER TREE PLANTING AND THREE, 4 GPH EMITTERS ON A 2 INCH CALIPER TREE AT PLANTING.
- TREES LARGER THAN 25 FEET AT MATURITY MAY BE IMPRACTICAL TO IRRIGATE WITH DRIP BECAUSE OF THE EXTENSIVE NATURE OF TREE ROOT SYSTEMS AND MASS OF THE TREES. INCREASE THE NUMBER OF EMITTERS AND CHANGE THEM TO 2 OR 4 GPH OR LARGER FLOWS AS TREES AND SHRUBS GROW.

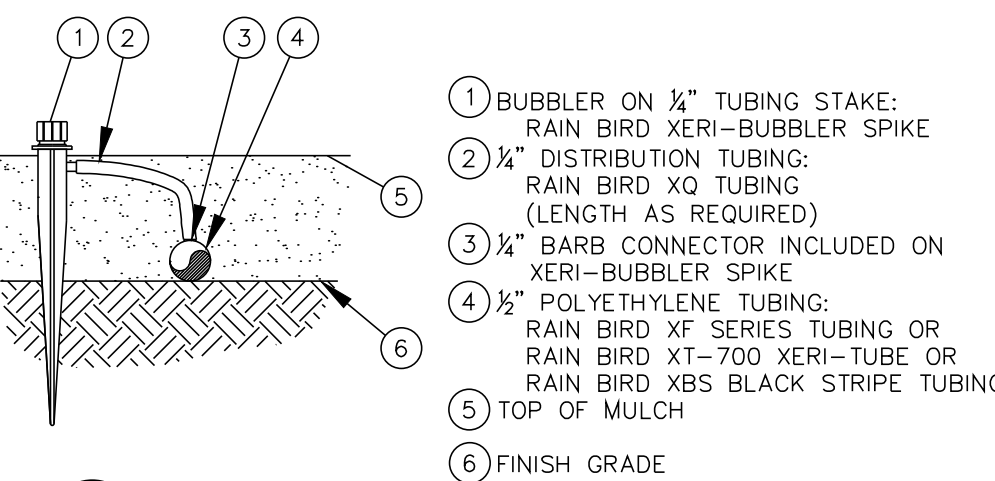
## EQUIPMENT

- NON-POTABLE SYSTEMS MUST USE THE COLOR PURPLE TO IDENTIFY COMPONENTS SUCH AS VALVES, VALVE BOXES, SPRINKLER HEAD TOPS, ECT.
- A MASTER SHUT-OFF VALVE SHALL BE INSTALLED DOWNSTREAM OF THE BACKFLOW DEVICE.
- FLOW SENSORS INTEGRATED WITH SMART IRRIGATION CONTROLLER ARE REQUIRED FOR SINGLE OR COMBINED POINT OF CONNECTION FOR FLOWS OF 15 GALLONS PER MINUTE OR GREATER AND 1 INCH OR GREATER WATER TAPS.
- ALL VALVES SHALL HAVE A MANUAL BALL VALVE INSTALLED PRIOR TO THE LATERAL VALVE
- ENSURE SLEEVING MEETS ALL REQUIREMENTS UNDER 6.11.B.6 INCLUDING BUT NOT LIMITED TO SLEEVING SIZE BEING TWICE THAT OF THE PIPE, NOTCHING OF HARD SURFACE FOR SLEEVES RUNNING UNDER HARDSCAPE.

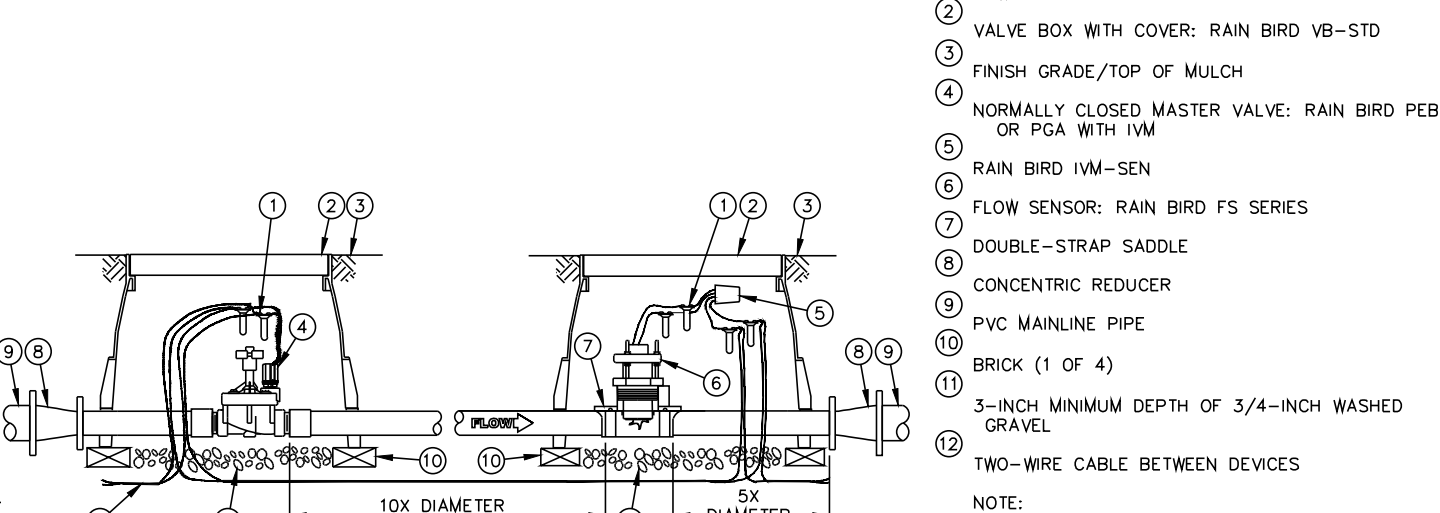
## IRRIGATION LEGEND



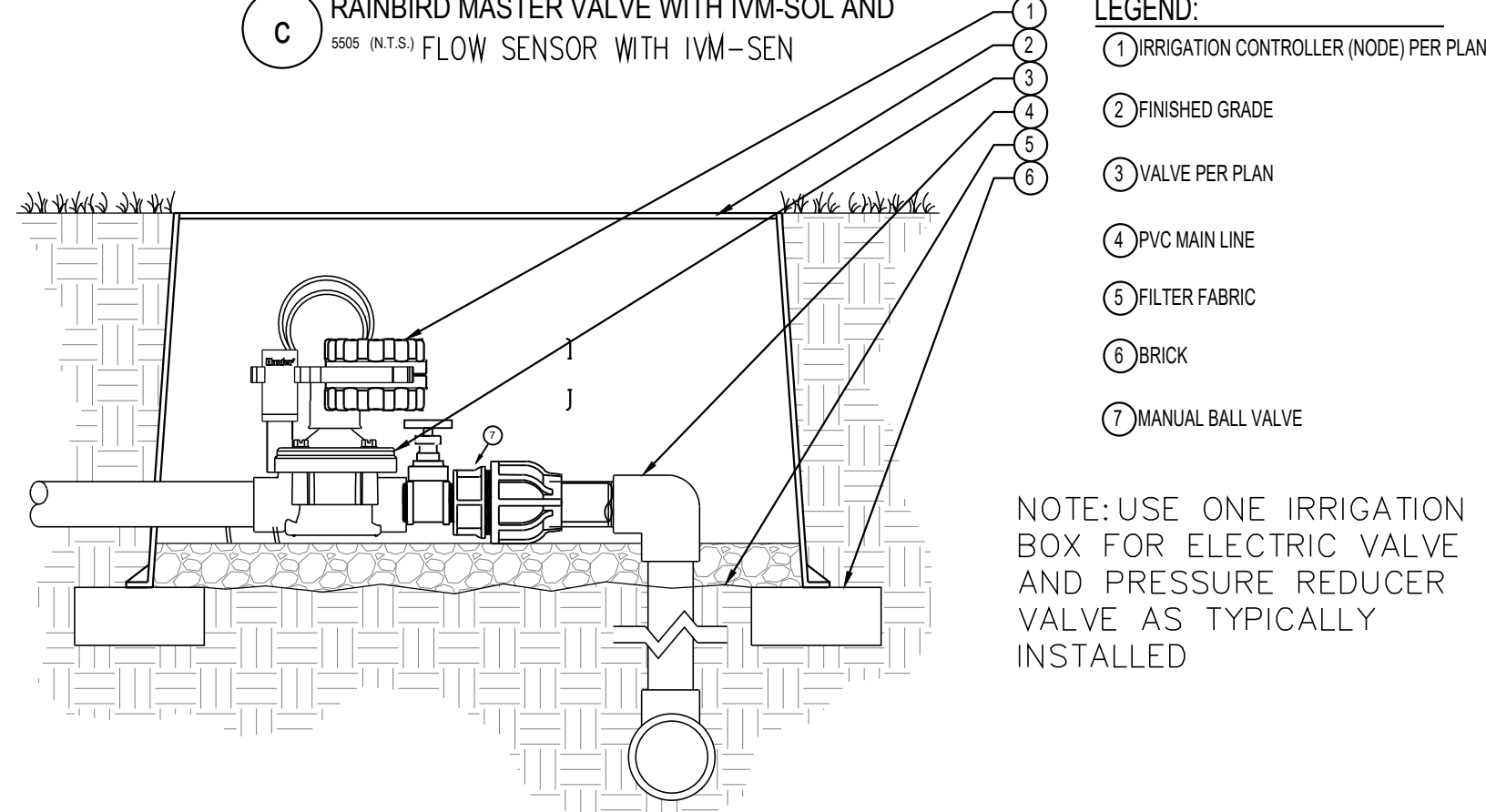
A RAINBIRD DRIP LINE FILTER AND PRESSURE REDUCER  
LCRBY100S -1in



B RAINBIRD DRIP EMITTER  
5000 (N.T.S.)

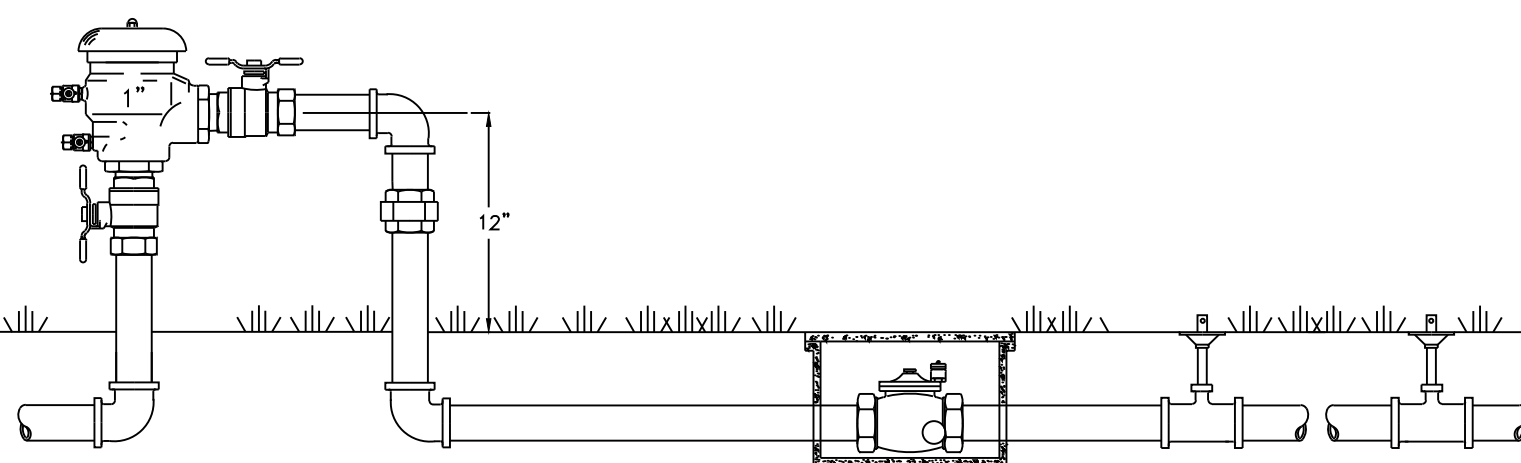


C RAINBIRD MASTER VALVE WITH IVM-SOL AND  
5005 (N.T.S.) FLOW SENSOR WITH IVM-SEN



D NODE ON VALVE  
C.NODE.01

NOT TO SCALE



FEBCO MODEL 765  
Pressure Vacuum Breaker  
Outside Installation



Know what's below.  
Call before you dig.

NOTE: CURRENT PLAN SET  
IS NOT FOR CONSTRUCTION

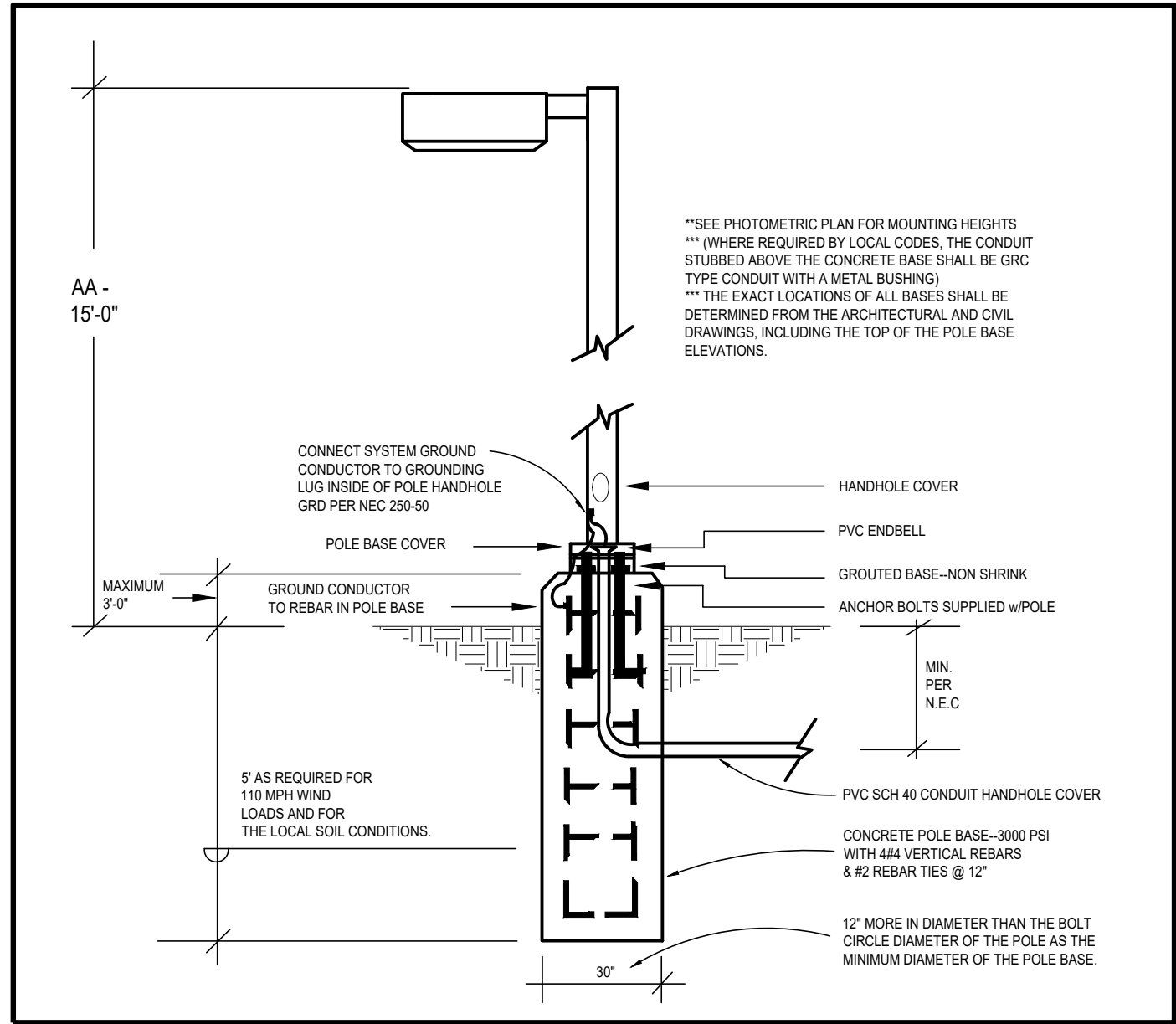
SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO	
PROJECT TITLE	LITTLE SCHOOL ON PERRY ST
PREPARED FOR	MISSION CAPITAL PROPERTIES BAYSIDE
SUBMITTAL	CONSTRUCTION DOCUMENTS
DRAWN BY:	####
CHECKED BY:	MRB
PROJECT NO.:	23-222-002
REVISIONS	
DATE	08/31/2023
SHEET TITLE	IRRIGATION PLAN
SHEET INFORMATION	LS3
	14 of 16

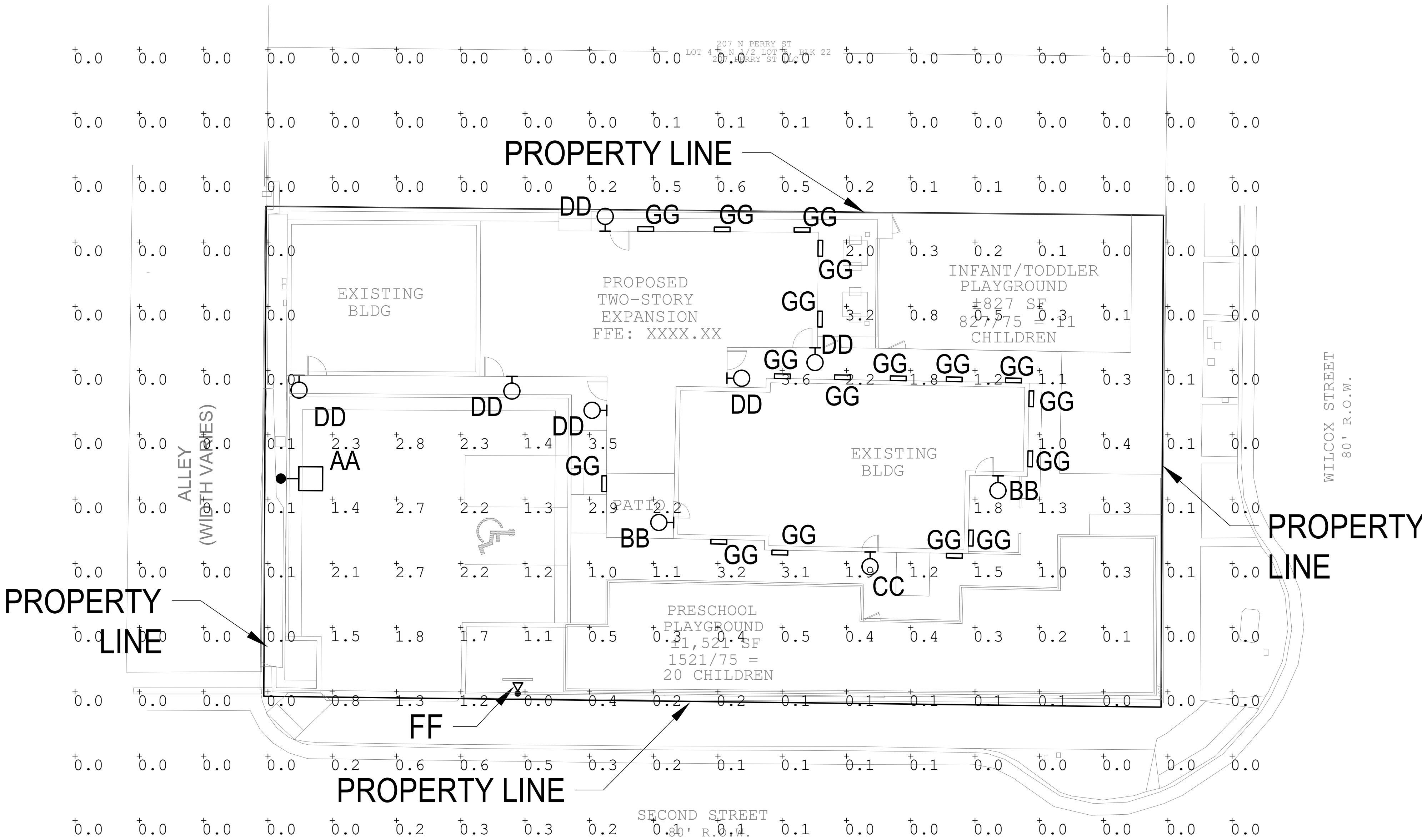


CONSTRUCTION DOCUMENTS

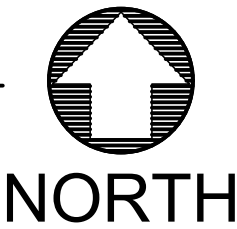
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



2 TYPICAL POLE BASE DETAIL  
scale: N.T.S.



1 PHOTOMETRIC PLAN  
scale: 3/32" = 1'-0"



Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE	Illuminance	Fc	0.43	3.6	0.0	N.A.	N.A.
PARKING	Illuminance	Fc	1.97	2.8	1.2	1.64	2.33

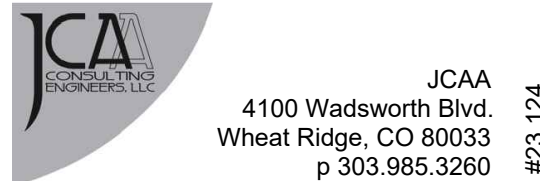
LUMINAIRE SCHEDULE

FIXT. TYPE	MANUFACTURER		FINISH	LAMP DATA / INITIAL LUMEN RATING	LAMP WATTS	LIGHT LOSS FACTOR (LLF)	MOUNTING METHOD	QUANTITY	MTG HEIGHT	DESCRIPTION WITH DISTRIBUTION TYPE	VOLTS	CUTOFF
	NAME	CATALOG NUMBER										
AA	LSI INDUSTRIES	MRS-LED-9L-SIL-3-UNV-30-70CRI-BLK-IL	BLACK	LED / 6016	63	1.0	POLE	1	15'-0"	SITE LIGHTING SINGLE HEAD TYPE III WITH HOUSE SIDE SHIELD, 3000K 70CRI	UNV	FULL CUTOFF
BB	TRANSGLOBE	40455-BK	BLACK	LED / 806	9	1.0	SURFACE	2	6'-0"	8" WALL LANTERN, 1 E26 60W LED EQUIVALENT BULB, 3000K, VERIFY MOUNTING HEIGHT PRIOR TO INSTALLATION	120	NON-FULL CUTOFF
CC	TRANSGLOBE	51390-BK	BLACK	LED / 806	9	1.0	SURFACE	1	-	11T WALL LANTERN, 1 E26 60W LED EQUIVALENT BULB, 3000K, VERIFY MOUNTING HEIGHT PRIOR TO INSTALLATION	120	NON-FULL CUTOFF
DD	WAC LIGHTING	DS-WS0517-N-30-S-BK	BLACK	LED / 2300	17	1.0	SURFACE	6	8'-0"	LED DOWNLIGHT, 3000K, VERIFY MOUNTING HEIGHT PRIOR TO INSTALLATION	120	FULL CUTOFF
FF	KIM	EL218-F-3-8L-3K-UV-BK, LED LAMP	BLACK	LED / 889	16	1.0	GROUND	1	-	WATERPROOF SPOT LIGHTIN FOR MONUMENT SIGN, PROVIDE WITH LOUVERS (NARROW FLOOD), 3000K	UNV	NON-FULL CUTOFF
GG	REBELLE	1645-15L-30-120-LV-EM-BT	BLACK	LED / 1580	11.2	1.0	SURFACE	17	3'-0"	WALKWAY AREA LIGHT WITH INTEGRATED BATTERY BACKUP AND INTEGRATED LOUVER, 3000K	120	FULL CUTOFF

GENERAL LIGHTING PLAN STANDARD NOTES:

- ALL BUILDING MOUNTED FIXTURES FOR SAFETY AND EGRESS. ALL POLE MOUNTED FIXTURES ARE FOR PARKING AREA AND DRIVING ACCESS PATHWAY.
- ALL FIXTURES TO BE CONTROLLED VIA TIMECLOCK. TIMER TO BE SET TO GO OFF AFTER 30MIN CLOSE OF BUSINESS. FIXTURES TO TURN ON 30MIN PRIOR TO OPENING OF BUSINESS. BUILDING HOURS OF OPERATION TO BE FROM 6:30AM-7:00PM.
- PROVIDE HOUSE SIDE SHIELD TO POLE MOUNTED FIXTURES ALONG ADJACENT PROPERTIES.
- THE FOLLOWING LIGHT TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.

TOTAL NON-FULL CUTOFF LUMENS: 3,307 LUMENS TOTAL FULL CUTOFF LUMENS: 46,676 LUMENS TOTAL SITE LUMENS: 49,983 LUMENS



NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION.

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

**RIDGE TOP**  
ENGINEERING + SURVEYING  
541 E. Garden Drive,  
Unit N  
Windsor, CO 80550  
T (970) 663-4662  
W ridgepeng.com

SEAL

PROJECT TITLE

LITTLE SCHOOL ON PERRY STREET

PREPARED FOR

MISSION CAPITAL PROPERTIES BAYSIDE

SUBMITTAL

CONSTRUCTION DOCUMENTS

DRAWN BY:

ATE

CHECKED BY:

ATE

PROJECT NO.:

23-222-002

REVISIONS


DATE

08/31/2023

SHEET TITLE

EP-100

SHEET INFORMATION

PHOTOMETRIC PLAN

15

of

16



# CONSTRUCTION DOCUMENTS

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TYPE 'AA'

Logo: **Mirada Small Area (MRS)**  
Outdoor LED Area Light

Overview Table:

OVERVIEW	
Lumen Package	6,000 - 24,000
Wattage Range	39 - 196
Efficacy Range (LRW)	112 - 158
Weight (Back)	20 (9.1)
Control Options	MSBT, ALB, ALS, 7-pin, PC

Quick Links: [Ordering Guide](#) | [Performance](#) | [Photometrics](#) | [Dimensions](#)

Features & Specifications:

- Construction**
  - Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
  - Fixtures are finished with LSI's DuraGrip<sup>®</sup> polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
  - Shipping weight: 27 lbs in cartons.
- Optical System**
  - State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
  - Proprietary silicone refractor optics provide exceptional coverage and uniformity in distribution types 2, 3, 4, 5W, FT, and LC/RC.
  - Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
  - 2 zero uplight.
  - Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377.
  - Minimum CRI of 70.
  - Integral louver (LT) and integral half louver (HT) options available for enhanced backlight control.
- Electrical**
  - High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
  - 0-10V dimming (10% - 100%) standard.
  - Standard Universal Voltage (120-277 VAC) input 50/60 Hz or optional High Voltage (547-480 VAC).
  - L70 Calculated Life: >60k Hours
  - Total harmonic distortion: <20%
  - Operating temperature: -40°C to +50°C (-40°F to +122°F).
  - Power factor: >90
  - Input power stays constant over life.
  - Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
  - High-efficiency LEDs mounted to metal-core circuit board to maximize heat dissipation
  - Driver is fully encased in potting material for moisture resistance and complies with FCC standards. Driver and key electronic components can easily be accessed.
- Installation**
  - Designed to mount to square or round poles.
  - A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
  - Included terminal block accepts up to 12 ga. wire.
  - Utilizes LSI's traditional B3 drill pattern.
- Warranty**
  - LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsi-corp.com/resources/terms-conditions-warranty/> for more information.
- Lists**
  - Listed to UL 1598 and UL 8750.
  - Meets Buy American Act requirements.
  - IDA compliant; with 3000K color temperature selection.
  - Title 24 Compliant; see local ordinance for qualification information.
  - Suitable for wet locations.
  - IP66 rated luminaire per IEC 60598-1.
  - 3G rated for ANSI C136.31 high vibration applications are qualified.
  - IDA compliant; with 3000K color temperature selection.
  - Title 24 Compliant; see local ordinance for qualification information.
  - Suitable for wet locations.
  - IP66 rated luminaire per IEC 60598-1.
  - 3G rated for ANSI C136.31 high vibration applications are qualified.
  - DesignLight Consortium<sup>®</sup> (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DLC](http://www.designlights.org/DLC) to confirm which versions are qualified.

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • [www.lsi-corp.com](http://www.lsi-corp.com)  
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TYPE 'AA'

**Mirada Small Area Light (MRS)**

Ordering Guide:

Typical Order Example: MRS LED 30L SL FT UNV DM 40 7000K ALBCL1 BLK RH

Accessories:

Accessories	Order Number	Description	Order Number	Shielding Options	Order Number
Twist Lock Photocell (20V) for use with CDP	122514	Single Fusing (20V)	122515	Mirada Small	
Twist Lock Photocell (20V-277V) for use with CDP	122515	Single Fusing (277V)	122516	Mirada Medium	
Twist Lock Photocell (24V) for use with CDP	122516	Double Fusing (24V, 240V)	122517	Mirada Large	
Twist Lock Photocell (480V) for use with CDP	122518	Double Fusing (480V)	122519	Zone Medium	
AirLink 5 Pin Twist Lock Controller	661009	Double Fusing (480V)	122520	Zone Large	
AirLink 7 Pin Twist Lock Controller	661010	Double Fusing (54V)	122521	Zone Medium	

Need more information? [Click here for our glossary](#)

Have additional questions? Call us at (800) 436-7800

LSI Industries Inc. 10000 Alliance Rd. Cincinnati, OH 45242 • (513) 372-3200 • [www.lsi-corp.com](http://www.lsi-corp.com)  
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TYPE 'BB'

**Trans Globe Lighting**

40455

8" Wall Lantern

Width (in): 4.5  
Height (in): 8  
Depth (in): 6  
Glass Type: Clear Beveled  
Bulb Type: Medium Base  
Number of Bulbs: 1  
Wattage: 60  
Finish Shown: Rust, **Black** White  
Available Finishes: Rust (RT), **Black (BK)**, White (WH)  
UL Listed: Wet  
Country of Origin: China  
Material: Metal, Glass, Electrical  
Multiple finishes available

Job Name: Job Type: Contact:  
Fixture Location: Quantity: Additional Notes:  
Shipping Box Width Height Depth Ship Wt Method Oversize Case QTY  
Ship QTY: 1 ea  
UPC: by finish Finish: Warranty: 1 year limited parts, repair, and replacement

28104 Witherspoon Pkwy | Valencia, CA 91355  
TEL (818) 768-5511 | FAX (818) 768-2326  
[www.tglighting.com](http://www.tglighting.com)

TYPE 'CC'

**Trans Globe Lighting**

51390

1LT WALL LANTERN-SML

Width (in): 5.5  
Height (in): 8.5  
Depth (in): 6.375  
Glass Type: White Frosted  
Bulb Type: Medium Base E26  
Number of Bulbs: 1  
Wattage: 60  
Finish Shown: Black (BK)  
Available Finishes: Black (BK)  
UL Listed: Wet  
Country of Origin: China  
Material: Metal, Electrical

Job Name: Job Type: Contact:  
Fixture Location: Quantity: Additional Notes:  
Shipping Box Width Height Depth Ship Wt Method Oversize Case QTY  
Ship QTY: 1 ea  
UPC: by finish Finish: Warranty: 1 year limited parts, repair, and replacement

28104 Witherspoon Pkwy | Valencia, CA 91355  
TEL (818) 768-5511 | FAX (818) 768-2326  
[www.tglighting.com](http://www.tglighting.com)

TYPE 'DD'

**TUBE ARCHITECTURAL DS-WS05**  
LED Wall Mounts

WAC LIGHTING

Fixture Type: Catalog Number: Project: Location:

Product Description: The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

Features:

- High performance exterior rated LED wall mount light
- Fixture can install upside down to alter light distribution
- Solid aluminum construction
- 5 year warranty

Specifications:

Beam Angle	Color Temp	Reference Output <sup>1</sup> CRI	CBP	Efficacy (lm/w)	Light Distribution	Finish
45°	2700K	90	1825	10050	73	
25°	2700K	85	2130	12057	88	
15°	2700K	80	2435	14164	103	
10°	2700K	75	2740	16271	118	
5°	2700K	70	3045	18378	133	
45°	4000K	85	2375	13062	95	
25°	2700K	90	1810	10280	72	
25°	2700K	85	2110	12057	88	
15°	2700K	80	2410	14054	103	
10°	2700K	75	2710	16051	118	
5°	2700K	70	3010	18048	133	
45°	4000K	85	2350	12842	94	
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