

# SUNY SCCC ELSTON HALL LOBBY & MOHAWK ROOM RENOVATIONS | RFB-2024-20

78 WASHINGTON AVE SCHENECTADY, NY 12305  
APRIL 19TH 2024



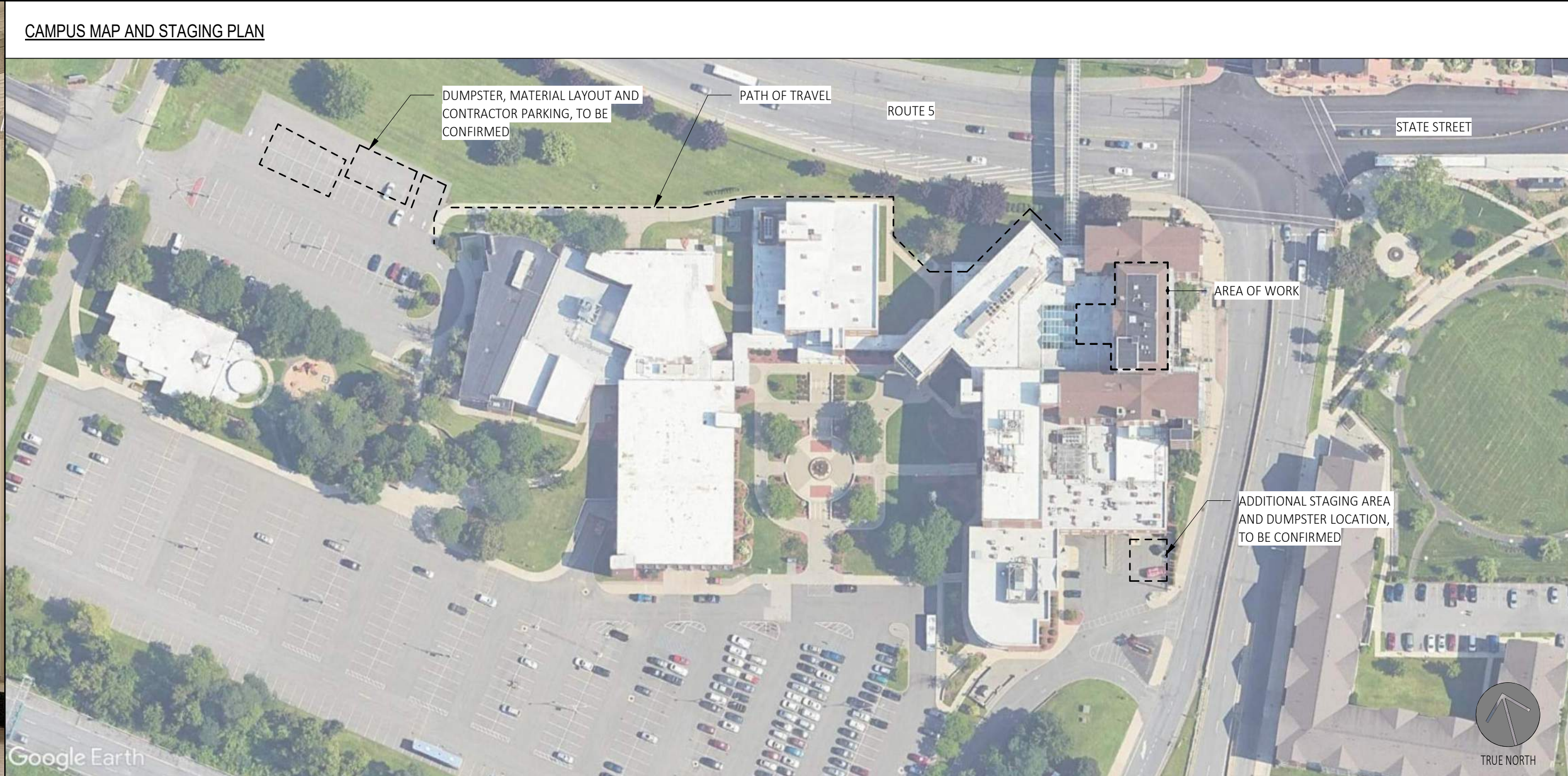
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PROJECT DESCRIPTION		RESPONSIBILITY MATRIX						PROJECT TEAM		PROJECT LOCATION																																																																
<p><b>SCOPE OF WORK:</b></p> <p>1. THE PROJECT IS BROKEN INTO (2) TWO SEPARATE AREAS OF WORK. PLEASE REFERENCE ALL CONTRACT DOCUMENTS. THE PROJECT INVOLVES THE INTERIOR RENOVATION TO:</p> <p>A. ELSTON HALL LOBBY AND SECURITY: RENOVATION OF EXISTING ROOM'S FLOORS, WALLS, FINISHES, CEILINGS, AND LIGHTING. THE WORK ALSO INCLUDES A NEW SECURITY ROOM, INTERIOR ENTRANCE VESTIBULE FACADE AND OFFICE SPACE. MULTI PRIME BID INCLUDES GENERAL CONSTRUCTION, MECHANICAL AND ELECTRICAL WORK. SEE ALL CONTRACT DOCUMENTS FOR DETAILED SCOPE OF WORK.</p> <p>B. MOHAWK ROOM: ALTERNATE #1 - RENOVATION OF EXISTING ROOM'S FLOORS, WALLS, FINISHES, DOORS, CEILINGS, AND LIGHTING. THE MULTI PRIME ALTERNATE BID INCLUDES GENERAL CONSTRUCTION, AND ELECTRICAL WORK. SEE ALL CONTRACT DOCUMENTS FOR DETAILED SCOPE OF WORK.</p>		<p>2. THIS IS A LEVEL II ALTERATION (&lt;50%) OF BUILDING AREA WITH NO CHANGES IN USE OR HAZARD LEVEL. ALL EXISTING EGRESS POINTS WILL BE MAINTAINED. NEW LIGHTING SHALL BE PROVIDED AS OUTLINED IN THE SCOPES OF WORK. NEW MECHANICAL SHALL BE PROVIDED AS OUTLINED IN THE SCOPE OF WORK.</p> <p>3. REFERENCE ABATEMENT DRAWINGS FOR WORK ASSOCIATED WITH ENVIRONMENTAL REMOVALS.</p> <p>4. ELSTON HALL EXISTING AREA - 144,696 NET S.F. - EXISTING MASONRY EXTERIOR WALLS</p> <p>5. AREA OF WORK FOR PROJECT RENOVATION +/- 8,040 S.F. (5.6% ALTERATIONS)</p> <p>6. OCCUPANCY GROUP OF EXISTING AREA: A. A-2 - ASSEMBLY B. B-BUSINESS EXISTING OCCUPANCY DOES NOT CHANGE</p> <p>7. NON-SPRINKLERED - WORK AREA DOES NOT EXCEED 50% OF FLOOR AREA</p>		<table><tr><th colspan="2">SCOPE OF WORK</th><th colspan="2">COUNTY</th><th colspan="2">SCCC</th><th colspan="2">CONTRACTOR</th><th rowspan="2">NOTES</th></tr><tr><th></th><th></th><th>FURNISH</th><th>INSTALL</th><th>FURNIS H</th><th>INSTALL</th><th>FURNISH</th><th>INSTALL</th></tr><tr><td>INTERIOR SIGNAGE AND VINYL GRAPHICS</td><td></td><td></td><td></td><td></td><td></td><td>GC</td><td>GC</td><td></td></tr><tr><td>AV SYSTEMS AND COMPONENTS INCLUDING CAT6 AND BOXES</td><td>X</td><td>X</td><td></td><td></td><td></td><td></td><td></td><td>AUDIO VIDEO CORP, GC SHALL COORDINATE CUTS AND DISTRIBUTION</td></tr><tr><td>DATA</td><td></td><td></td><td></td><td></td><td></td><td>EC</td><td>EC</td><td>EC TO COORDINATE WITH COUNTY</td></tr><tr><td>SECURITY SYSTEMS (INCLUDING SECURITY CAMERAS)</td><td>X</td><td>X</td><td></td><td></td><td></td><td></td><td></td><td>GC TO COORDINATE WITH COUNTY VENDOR</td></tr><tr><td>CAT6 TO IT RACK IN SECURITY</td><td></td><td></td><td></td><td></td><td></td><td>EC</td><td>EC</td><td>EC TO COORDINATE LOCATION(S) WITH COUNTY</td></tr></table> <p>NOTE: DOES NOT INCLUDE FULL SCOPE OF WORK FOR CONTRACTS. SEE RFB-2024-20 DRAWINGS AND SPECIFICATIONS</p> <p><b>ABBREVIATIONS:</b> GC: GENERAL CONTRACTOR PC: PLUMBING CONTRACTOR MC: MECHANICAL CONTRACTOR EC: ELECTRICAL CONTRACTOR</p>						SCOPE OF WORK		COUNTY		SCCC		CONTRACTOR		NOTES			FURNISH	INSTALL	FURNIS H	INSTALL	FURNISH	INSTALL	INTERIOR SIGNAGE AND VINYL GRAPHICS						GC	GC		AV SYSTEMS AND COMPONENTS INCLUDING CAT6 AND BOXES	X	X						AUDIO VIDEO CORP, GC SHALL COORDINATE CUTS AND DISTRIBUTION	DATA						EC	EC	EC TO COORDINATE WITH COUNTY	SECURITY SYSTEMS (INCLUDING SECURITY CAMERAS)	X	X						GC TO COORDINATE WITH COUNTY VENDOR	CAT6 TO IT RACK IN SECURITY						EC	EC	EC TO COORDINATE LOCATION(S) WITH COUNTY	<p><b>SC OFFICE OF FACILITIES</b> SCHENECTADY COUNTY 620 STATE STREET SCHENECTADY, NY 12305</p> <p><b>ARCHITECT:</b> C2 ARCHITECTURE, PC 24 AIRPORT ROAD SCHENECTADY, NY 12302 T: 518.320.8250</p> <p><b>ABATEMENT:</b> ECS MID ATLANTIC 421 NEW KARNER ROAD ALBANY, NY 12205 T: 838.900.2851</p> <p><b>OWNER</b> SUNY SCCC 78 WASHINGTON AVE. SCHENECTADY, NY 12305</p> <p><b>M/E/P ENGINEER:</b> M/E ENGINEERING 433 STATE STREET, 4TH FLOOR SCHENECTADY, NY 12305 T: 518.533.2171</p>		<p><small>Mohawk River</small></p> <p><small>*DOCUMENTS MAY VARY FROM SITE PLAN</small></p> <p><small>SUNY SCCC CAMPUS</small></p> <p><small>STATE ST</small></p> <p><small>WASHINGTON AVE</small></p> <p><small>INTERSTATE 890</small></p> <p><small>PROJECT LOCATION</small></p>
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Stamp:

Project:

SUNY SCCC ELSTON HALL LOBBY & MOHAWK ROOM RENOVATIONS

78 Washington Ave Schenectady, NY 12305

BID   RFB-2024-20		
No.	REVISION #	DATE:

Drawn By: C2 Architecture

Scale: As Noted

Date: 04/19/2024

Job No: 2349

Sheet Title:

COVER SHEET

Sheet Number:

G100


PLOT DATE: 4/26/2024 9:33:44 AM



ABBREVIATIONS			
KEY NAME	FULL NAME	KEY NAME	FULL NAME
A.B.	ANCHOR BOLT	O.A.	OVERALL
ABR.	ABRASIVE FINISH	O.C.	ON CENTER
ACT	ACOUSTICAL CEILING TILE	O.D.	OUTSIDE DIAMETER
ADH.	ADHESIVE	OH	OVERHEAD
ADJ.	ADJUSTABLE	O.H.	OPPOSITE HAND
AFF	ABOVE FINISH FLOOR	OPG.	OPENING
ALUM.	ALUMINUM	PC	PIECE
ALT.	ALTERNATE	PCF	POUNDS PER CUBIC FT
APPROX.	APPROXIMATE	PL	PLASTIC LAMINATE
ARCH.	ARCHITECT	PLAM	PLASTIC LAMINATE
B/	BOTTOM OF	PLT	PLATE
B/B	BACK TO BACK	PLF	POUNDS PER LINEAR FT
BD.	BOARD	PLUMB.	PLUMBING
BLDG.	BUILDING	PLYWD	PLYWOOD
BLK	BLOCK	POLY	POLYETHYLENE
BM	BEAM	PR.	PAIR
B.O.	BOTTOM OF	PSF	POUNDS PER SQUARE FT
BOT.	BOTTOM	PSI	POUNDS PER SQUARE IN
B.A.	BEARING PLATE	PFT	PORCELAIN TILE
BR.	BRICK	PT	PAINT
BRG.	BEARING	PTD.	PAINTED
CAB.	CABINET	Q.T.	QUARRY TILE
CB	CATCH BASIN	R.	RISER
CDX.	C-D GRADE EXT. PLYWOOD	RAD.	RADIUS
CF	CUBIC FEET	RB	RUBBER BASE
C.H.	CABINET HEATER	R.D.	ROOF DRAIN
CIR.	CIRCUIT	REF.	REFERENCE
C.J.	CONTROL JOINT	REINF.	REINFORCING
CL	CENTER LINE	REQ'D.	REQUIRED
CLG.	CEILING	REV.	REVISION
CLR.	CLEAR	RFL	RUBBER FLOOR
CMU	CONCRETE MASONRY UNIT	R.L.	ROOF LEADER
COL.	COLUMN	RM.	ROOM
CONC.	CONCRETE	RT.	RESILIENT TILE
CONST.	CONSTRUCTION	R.V.	ROOF VENT
CONT.	CONTINUOUS	SCHED.	SCHEDULE
CONTR.	CONTRACTOR	SECT.	SECTION
COORD.	COORDINATE	SF	SQUARE FOOT
CORR.	CORRUGATED	SHT.	SHEET
CPT	CARPET	SIM.	SIMILAR
CRS.	COURSES	SPEC.	SPECIFICATIONS
CSK.	COUNTER SINK	SQ.	SQUARE
CT	CERAMIC TILE	S.S.	STAINLESS STEEL
C.W.	COLD WATER	ST	STAIN
DET	DETAIL	STD.	STANDARD
DIA .	DIAMETER	STL.	STEEL
DIAG.	DIAGONAL	STRUCT.	STRUCTURAL
DIM.	DIMENSION	SUSP.	SUSPENDED
DR	DOOR	T.	TREAD
DWG	DRAWING(S)	T/	TOP OF
EA.	EACH	T&B	TOP AND BOTTOM
E.F.	EACH FACE	T/C	TOP CHOR
E.J.	EXPANSION JOINT	T/F	TOP FLANGE
ELEC.	ELECTRICAL	T/FTG	TOP OF FOOTING
ELEV.	ELEVATION	T.O.	TOP OF
EQ	EQUAL	THK.	THICK
EQUIP.	EQUIPMENT	THRU.	THROUGH
ETR	EXISTING TO REMAIN	TP.	TOPPING
EXIST.	EXISTING	TRANS.	TRANSVERSE
EXP.	EXPOSED	TS.	TUBE STEE
EXT.	EXTERIOR	T/S	TOP OF SLAB
F.D.	FLOOR DRAIN	T/STL	TOP OF STEEL
F.C.	FAN COIL	TYP.	TYPICAL
FDN.	FOUNDATION	UNEX.	UNEXCAVATED
F.F.	FINISH FLOOR	UNO	UNLESS NOTED OTHERWISE
FIN.	FINISH	VAR.	VARIES
FLG.	FLANGE	VB	VINYL BASE
FLR.	FLOOR	V.B.	VAPOR BARRIER
FT.	FEET	VCT	VINYL COMPOSITE TILE
GRP.	GROUP	VERT.	VERTICAL
GWB	GYPSPUM WALL BOARD	V.I.F.	VERIFY IN FIELD
GYP.	GYPSPUM	VTR	VENT THRU ROOF
H.B.	HOSE BIB	W	WATER
HC	HANDICAP	W/	WITH
HDW.	HARDWARE	WB	WOOD BASE
HDWD	HARDWOOD	W.J.	WATER CLOSET
H.M.	HOLLOW METAL	WD	WOOD
HORIZ.	HORIZONTAL	W.I.	WROUGHT IRON
H.P.	HIGH POINT	W.W.F.	WELDED WIRE FABRIC
H.S.	HIGH STRENGTH		
HT.	HEIGHT		
HVAC	HEAT,VENT AND AC		
H.W.	HOT WATER		
H.W.T.	HOT WATER TANK		
I.D.	INSIDE DIAMETER		
I.E.	INVERT ELEVATION		
IN.	INCH(ES)		
INSUL.	INSULATION		
INT.	INTERIOR		
INV.	INVERT		
JAN.	JANITOR		
JT.	JOINT		
LAM.	LAMINATED		
LAV.	LAVATORY		
LLH.	LONGER LEG HORIZONTAL		
LLV.	LONGER LEG VERTICAL		
LOC.	LOCATION		
LONG.	LONGITUDINAL		
L.P.	LOW POINT		
M.	METER		
MANUF.	MANUFACTURER		
MAS.	MASONRY		
MAT.	MATERIAL		
MAX.	MAXIMUM		
M.B.	MACHINE BOLTS		
MC	METAL CHANNEL		
M.C.	MECHANICAL CONTRACTOR		
MECH.	MECHANICAL		
MED.	MEDIUM		
MISC.	MISCELLANEOUS		
M.O.	MASONRY OPENING		
M.T.	METAL THICKNESS		
MTL	METAL		
N.I.C.	NOT IN CONTRACT		
NO.	NUMBER		
NOM.	NOMINAL		
N.T.S.	NOT TO SCALE		

SYMBOLS	
	<b>WINDOW TAG:</b> REFERENCE WINDOW SCHEDULE ON A900 FOR SIZE AND DETAIL
	<b>ELEVATION TAG:</b> DRAWING NUMBER (TOP NUMBER) SHEET NUMBER (BOTTOM NUMBER)
	<b>INTERIOR ELEVATION TAG:</b> DRAWING NUMBER (TOP NUMBER) REFERENCE SPECIFIED SHEET FOR DRAWING NUMBER
	<b>DOOR TAG:</b> REFERENCE DOOR SCHEDULE ON A900 FOR SIZE AND DETAIL
	<b>WALL TYPE TAG:</b> RATING REFERENCE WALL TYPES FOR WALL CONSTRUCTION
	<b>ELEVATION MARKER:</b> SPECIFIES THE VERTICAL HEIGHT AT A GIVEN LOCATION
	<b>PLAN DETAIL TAG:</b> DRAWING NUMBER (TOP NUMBER) REFERENCE SPECIFIED SHEET FOR DRAWING (BOTTOM NUMBER)
	<b>SECTION DETAIL TAG:</b> DRAWING NUMBER (TOP NUMBER) REFERENCE SPECIFIED SHEET FOR DRAWING (BOTTOM NUMBER)
	<b>DEMOLITION TAG:</b> REFERENCE PLANS AND GENERAL DEMOLITION NOTES
	<b>EQUIPMENT TAG:</b> REFERENCE PLANS AND EQUIPMENT SCHEDULES
	<b>NOTE TAG:</b> SEE ASSOCIATED LEGEND
	FLOOR DRAIN (FD)
	ROOF DRAIN (RD)
	EXISTING WALL TO REMAIN, TYP.
	EXISTING WALL TO BE REMOVED, TYP.
	NEW STUD WALL CONSTRUCTION
	NEW MASONRY WALL CONSTRUCTION
	EXISTING DOOR TO REMAIN, TYP.
	EXISTING DOOR TO BE REMOVED, TYP.
	EXISTING FIXTURES TO BE REMOVED

RFB - 2024 - 20 Drawing List							
Sheet Number	Sheet Name	Appear In View Sheet	Current Revision	Current Revision Date	Base Bid	Alternate #1	
G100	Cover Sheet						
G101	Sheet List, Abbreviations and Symbols						
G102	General Notes						
G200	Elston Hall 1st Level Life Safety Plan						
G203	Accessibility Details						
G300	Area of Work Plan						
Elston Hall Lobby							
D100A	Elston Hall Lobby Demolition Plan				X		
D600A	Elston Hall Lobby Demolition Details				X		
D800A	Elston Hall Lobby Ceiling Demolition Plan				X		
A100A	Elston Hall Lobby Floor Plan				X		
A600A	Details - Elston Hall Lobby				X		
A601A	Details - Security Desk				X		
A700A	Interior Elevations - Elston Hall Lobby				X		
A701A	Interior Elevations - Elston Hall Lobby				X		
A702A	Interior Elevations and Details - Elston Hall Lobby				X		
A800A	Elston Hall Lobby Reflected Ceiling PPlan				X		
A900A	Elston Hall Lobby Finish Plan				X		
A901A	Schedules-Elston Hall Lobby				X		
Mohawk Room (Alternate #1)							
D100B	Mohawk Room Demolition Plan					X	
D800B	Mohawk Room Ceiling Demolition Plan					X	
A100B	Mohawk Room Floor Plan					X	
A700B	Interior Elevations - Mohawk Room					X	
A800B	Mohawk Room Reflected Ceiling Plan					X	
A900B	Mohawk Room Finish Plan					X	
A901B	Door Schedule - Mohawk Room					X	
Mechanical Drawings							
M001	HVAC Symbols, Lists, Details, and Schedules						
M101A	Mechanical Removal and Renovation Plan				X		
M101B	Mohawk Room HVAC Plans - Alternative #1					X	
Electrical Drawings							
E001	Electrical Legend and Abbreviations						
ER101A	Elston Hall Lobby Power and System Removals Plan				X		
ER101B	Mohwak Room Electrical Removals Plan					X	
ER201A	Elston Hall Lobby Lighting Floor Plan				X		
ER201B	Mohawk Room Lighting Removals Plan					X	
E101A	Elston Hall Lobby Power and System Plan				X		
E101B	Mohwak Room Power and Systems Plan					X	
E201A	Elston Hall Lobby Lighting Floor Plan New				X		
E201B	Mohawk Room Lighting Plan					X	
E701	Electrical Schedules						



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LOBBY & MOHAWK ROOM  
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No.	REVISION #	DATE:

Drawn By: C2 Architecture

Scale: As Noted

Date: 04/19/2024

Job No: 2349

Sheet Title:  
SHEET LIST,  
ABBREVIATIONS AND  
SYMBOLS

Sheet Number:  
G101

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GENERAL NOTES

1. THE DRAWINGS AND THE PROJECT MANUAL, WHICH INCLUDES TECHNICAL SPECIFICATIONS, TOGETHER FORM THE "CONTRACT DOCUMENTS". THE CONTRACT DOCUMENTS SHOW "THE WORK" THAT IS REQUIRED BY THE CONTRACTOR. "THE WORK" SHALL ALSO INCLUDE ALL MISCELLANEOUS MATERIALS AND LABOR REQUIRED TO PROVIDE "THE WORK", EVEN IF THEY ARE NOT SPECIFICALLY SHOWN OR NOTED WITHIN THE CONTRACT DOCUMENTS.
2. THE INTENT OF THE CONTRACT DOCUMENTS IS TO PROVIDE ADEQUATE INFORMATION FOR BIDDING. "THE WORK" SHALL INCLUDE ALL LABOR, MATERIALS, TRANSPORTATION, EXPEDITING INSTALLATION, INSPECTIONS, CLEANUP AND DISPOSAL FEES REQUIRED TO EXECUTE "THE WORK" IN A TOTAL FINISHED MANNER, UNLESS NOTED OTHERWISE.
3. UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THE CONTRACT DOCUMENTS IS A VIOLATION OF FEDERAL AND STATE LAWS.
4. NOTES APPEAR ON VARIOUS DRAWINGS FOR DIFFERENT SYSTEMS & MATERIALS. REVIEW ALL SHEETS AND APPLY NOTES TO RELATED BUILDING COMPONENTS. REFER TO COMPLETE SET OF ISSUED CONTRACT DOCUMENTS FOR OTHER APPLICABLE NOTES, ABBREVIATIONS AND SYMBOLS.
5. WORDS AND ABBREVIATIONS THAT ARE USED WITHIN THE CONTRACT DOCUMENTS HAVE WELL KNOWN TECHNICAL MEANINGS WITHIN THE ENGLISH LANGUAGE. THE CONSTRUCTION TRADE INDUSTRY, AND ARE USED WITH SUCH RECOGNIZED MEANINGS.
6. "PROVIDE" SHALL MEAN FURNISH AND INSTALL, UNLESS NOTED OTHERWISE.
7. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS. ALL DIMENSIONS ARE IN FEET AND INCHES. CENTER PARTITIONS ON COLUMNS OR MULLIONS UNLESS NOTED OTHERWISE, OR USE EQUAL/EQUAL AND ALIGN SURFACES TO LOCATE PARTITIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. NOTIFY THE ARCHITECT OF MISSING DIMENSIONS AND DISCREPANCIES FOR RESOLUTION BEFORE PROCEEDING WITH "THE WORK".
8. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO/FROM FACE OF STUD, CMU, COLUMN CENTER LINE, OR FACE OF EXTERIOR FINISHED SURFACE.
9. DIMENSIONS NOTED "CLEAR/CLR." ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF ARCHITECT/ENGINEER.
10. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND FOR COORDINATING "THE WORK".
11. ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED AS DIRECTED BY THE SUPPLIER/MANUFACTURER, IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARD PRACTICE AND IN COMPLIANCE WITH PRODUCT WARRANTY.
12. THE ARCHITECT WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. THE CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL PRIOR TO THE START OF ANY WORK.
13. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE CONTRACTOR, AND THEY WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS.
14. CONTRACTOR SHALL EXAMINE THE SITE AND INCLUDE IN THEIR WORK THE EFFECT OF ALL EXISTING CONDITIONS ON THE WORK.
15. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH THE BUILDING RULES AND REGULATIONS BEFORE AND DURING THE COURSE OF THIS PROJECT. SHOULD A CONFLICT ARISE BETWEEN THE CONTRACT DOCUMENTS AND THE BUILDING RULES, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY. BUILDING RULES AND REGULATIONS SHALL GOVERN EXCEPT WHERE THEY ARE IN CONFLICT WITH APPLICABLE CODES AND ORDINANCES.
16. THE CONTRACTOR IS TO PROVIDE A CLEAN, SAFE AND SECURE WORK SITE UNTIL THE FINAL CERTIFICATE OF OCCUPANCY OR PUNCH LIST IS COMPLETED, WHICHEVER IS LATER.
17. A COPY OF THE LATEST SET OF CONTRACT DRAWINGS, SKETCHES, ANSWERED RFIs, AND APPROVED SUBMITTALS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE ARCHITECT AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
18. THE CONTRACTOR IS TO PROVIDE A FULL-TIME COMPETENT SUPERINTENDENT ON THE PROJECT TO COORDINATE ALL SUBCONTRACTORS' WORK AND SUPERVISE THE DAILY ACTIVITY OF THE PROJECT AS WELL AS MAINTAIN THE SITE IN A SAFE, CLEAN MANNER.
19. THE CONTRACTOR SHALL PROVIDE PROPER FIRE PROTECTION, SIGNAGE, POWER AND LIGHTING PER CODE THROUGHOUT DEMOLITION & CONSTRUCTION.
20. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL PROVIDE ALL OF "THE WORK" INDICATED AND REFERENCED IN THE CONTRACT DOCUMENTS. IF THERE IS A CONTRADICTION BETWEEN THE SPECIFICATIONS AND THE DRAWINGS, THE GREATER SPECIFICATION SHALL PREVAIL.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF THE CONTRACT DOCUMENTS TO ALL TRADES AND ALERT THE ARCHITECT OF DISCREPANCIES THAT IMPACT THE PROJECT OR THE SUB CONTRACTORS.
22. THE CONTRACTOR SHALL FULLY COORDINATE "THE WORK" WITH COUNTY, STATE AND FEDERAL REQUIREMENTS AS WELL AS THE OWNER, ARCHITECT, ENGINEERS, INSPECTORS AND SUB-CONTRACTORS. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, STATE AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES, AND ORDINANCES.
23. THE CONTRACTOR SHALL SCHEDULE ALL WORK TO CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL COOPERATE WITH OTHER CONTRACTORS IN THE REQUIRED SEQUENTIAL INSTALLATION SCHEDULE AS APPROVED BY THE ARCHITECT.
24. THE CONTRACTOR SHALL FURNISH A CONSTRUCTION SCHEDULE TO THE OWNER AND ARCHITECT INDICATING PROJECTED COMMENCEMENT AND COMPLETION DATES FOR ALL MAJOR PHASES OF "THE WORK" AND UPDATE PROGRESS TO ALL PARTIES WEEKLY THROUGHOUT CONSTRUCTION.
25. DURING DEMOLITION AND CONSTRUCTION, THE G.C. IS RESPONSIBLE FOR MAINTAINING THE EXISTING FIRE-RATED ASSEMBLIES THAT ARE INVOLVED. THIS MEANS RESTORING THE VARIOUS ELEMENTS (I.E. SPRAYED-ON FIREPROOFING, INSULATION, SEALANT, ETC.) THAT MAY GET DISTURBED BY CONSTRUCTION ACTIVITY, BACK TO FULLY COMPLIANT STATUS.

GENERAL NOTES CONT.

26. BEFORE COMMENCING WITH ANY PORTION OF "THE WORK", THE CONTRACTOR SHALL SUBMIT TO THE OWNER OR ARCHITECT (AS AGREED UPON DURING THE CONTRACT SIGNING) SUBMITTALS, SAMPLES AND SHOP DRAWINGS FOR APPROVAL PRIOR TO THE ORDERING OF ANY MATERIALS OR PERFORMANCE OF "THE WORK". ALL ITEMS WHICH HAVE NOT BEEN APPROVED BY THE ARCHITECT, OWNER OR OWNERS REPRESENTATIVE ARE SUBJECT TO CHANGE AT NO ADDITIONAL COST TO THE OWNER.
27. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO THE COMMENCEMENT OF "THE WORK". DISCOVERED CONDITIONS THAT ARE INCONSISTENT WITH THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BY A WRITTEN RFI WITHIN TWENTY-FOUR (24) HOURS OF ITS DISCOVERY. DO NOT PROCEED WITH "THE WORK" UNTIL THE ARCHITECT RESPONDS TO THE RFI IN WRITING.
28. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL WORK OR CHANGES FOR WHICH THEY EXPECT ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION BY COUNTY.
29. THE ARCHITECT SHALL HAVE THE RIGHT AT ALL TIMES TO EXAMINE "THE WORK" AND DETERMINE CONFORMANCE WITH THE REQUIREMENTS AND INTENT OF THE CONTRACT DOCUMENTS AS INTERPRETED BY THE ARCHITECT.
30. REFER TO THE DRAWINGS FOR ITEMS TO BE PROVIDED BY THE OWNER, WORK BY OTHERS, AND MISCELLANEOUS OR SPECIAL REQUIREMENTS. CONTRACTOR SHALL COORDINATE AND PLAN THEIR WORK WITH OTHER TRADES TO ENSURE THAT IN PLACE WORK ACCOMMODATES ALL TRADES AND THE FINAL DESIGN.
31. CONSTRUCTION PERSONNEL MUST CARRY PROPER IDENTIFICATION AT ALL TIMES.
32. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH BUILDING OWNER THE USE OF ELEVATOR OR OTHER HOISTING FACILITIES FOR HANDLING THE DELIVERY OF MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL SUB-TRADES OF CONDITIONS REGARDING ELEVATOR CAB SIZE, DOOR OPENING WIDTHS AND LOADING WEIGHT CAPACITIES.
33. ALL PUBLIC AREAS SUCH AS ELEVATOR LOBBIES, CORRIDORS, TOILETS, AND SERVICE HALLS SHALL BE PROTECTED TO THE SATISFACTION OF THE BUILDING OWNER. EQUIPMENT AND OTHER PROPERTY BELONGING TO THE BUILDING SHALL ALSO RECEIVE PROTECTION AND REFURBISHING IF DAMAGED IN THE COURSE OF CONSTRUCTION, TO THE SATISFACTION OF BUILDING OWNER.
34. ALL ELECTRIC HAND TOOLS MUST BE GROUNDED PROPERLY.
35. PROTECTIVE EYE GOGGLES, CONSTRUCTION HARD HATS AND PROPER CLOTHING MATERIALS MUST BE WORN DURING ANY CUTTING, WHETHER BY HAND OR BY MECHANICAL MEANS, OF FLOORS AND WALLS.
36. ALL WINDOWS SHALL BE KEPT CLOSED IN THE WORK AREAS.
37. ALL FIRE EXITS SHALL BE KEPT CLEAR AND ACCESSIBLE AT ALL TIMES.
38. FIRE EXTINGUISHERS MUST BE KEPT ON THE JOB SITE DURING CONSTRUCTION. PLUS, CONTRACTOR TO HAVE PROPER MEDICAL EMERGENCY KIT AVAILABLE AT JOB SITE PER ALL APPLICABLE CODES AND REGULATIONS.
39. DO NOT OBSTRUCT ACCESS TO EXISTING EXITS OR REDUCE WIDTH OF PUBLIC CORRIDORS.
40. PROTECT FROM DAMAGE "THE WORK" AND ALL EXISTING ADJACENT AREAS AND PROPERTIES AT THEIR EXPENSE, INCLUDING BUT NOT LIMITED TO LANDSCAPING AND EXTERIOR & INTERIOR BUILDING SURFACES.
41. A MANDATORY WALK-THRU AND INSPECTION BY THE OWNER AND/OR OWNER REPRESENTATIVE SHALL OCCUR PRIOR TO CONCEALING THE FRAMING AND/OR AS DESIGNATED IN THE CONTRACT DOCUMENTS.
42. COORDINATE ALL OWNER SUPPLIED AND CONTRACTOR INSTALLED ITEMS AS WELL AS ALL OWNER PROVIDED ITEMS PRIOR TO CONCEALING THE FRAMING. THE CONTRACTOR SHALL PROVIDE ALL BLOCKING REQUIRED FOR THESE ITEMS.
43. INSTALL FIRE RETARDANT WOOD BLOCKING IN ALL NEW AND EXISTING PARTITIONS TO RECEIVE TV DISPLAYS, MILLWORK, SHELVING, WHITE BOARDS, SLAT WALL, WALL HUNG FURNITURE, ARTWORK, EQUIPMENT, SIGNAGE, AND LIGHT FIXTURE AS REQUIRED.
44. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INCURRED FOR DAMAGES CAUSED BY THEIR SUBCONTRACTORS, INCLUDING SITE DAMAGES.

GENERAL METAL STUD FRAMING NOTES

1. FORM RADIUS/CURVED WORK TO TRUE RADIUS WITHOUT SEGMENTATION, FACETING, BUCKLING, WARPING OR OTHERWISE ALTERING MEMBER DIMENSION OR APPEARANCE.
2. IN CASE OF CONFLICT OR DISCREPANCY, THE MORE RESTRICTIVE OR HIGHER QUALITY PARTITION GOVERNS.
3. AT ALL NON-FLOOR TO STRUCTURAL DECK PARTITIONS, PROVIDE DIAGONAL BRACING AT 4'-0" O.C. EXTENDING FROM 12" ABOVE CEILING TO STRUCTURAL DECK ABOVE AT 12/12 SLOPE, CONFIGURED TO CLEAR STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS.
4. PROVIDE FIRE-TREATED BLOCKING IN PARTITIONS FOR ALL SUPPORTED/ATTACHED ITEMS/SYSTEMS.
5. PROVIDE FIRE-TREATED WOOD BLOCKING IN WALLS FROM 2'-0" ABOVE FLOOR TO 4'-0" ABOVE FLOOR IN ALL ANSI A17.1 COMPLIANT TOILET STALLS.
6. CONTRACTOR TO CLEAN INSIDE OF ALL STUD CAVITIES BEFORE ENCLOSING WALL.

GENERAL DEMOLITION NOTES

1. SEE ALL DRAWINGS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
2. OBJECTS SHOWN ON DEMOLITION PLANS WITH A "DASHED" LINE ARE TO BE REMOVED, AS A "SYSTEM" IN THEIR ENTIRETY BACK TO SOUND STRUCTURE. COORDINATE WITH ALL GENERAL DEMOLITION NOTES, KEYED DEMOLITION NOTES AND ALL ENGINEERING DRAWINGS.
3. THE CONTRACTOR SHALL COORDINATE ALL PHASES OF DEMOLITION FOR PROJECT AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF "THE WORK", PRIOR TO THE START OF DEMOLITION.
4. THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION, PROVIDE BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING AS REQUIRED.
5. THE CONTRACTOR SHALL MAINTAIN LIFE SAFETY SERVICES AND FIRE EXTINGUISHERS THROUGHOUT DEMOLITION PHASE AS REQUIRED.
6. THE CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES IN THE DRAWINGS REGARDING THE REMOVAL OF LOAD BEARING STRUCTURAL ELEMENTS NOT DOCUMENTED OR DETAILED.
7. OWNER RESERVES THE RIGHT TO KEEP ANY ITEMS IDENTIFIED TO BE REMOVED OR SALVAGED. CONTRACTOR IS TO COORDINATE IDENTIFIED ITEMS WITH THE OWNER AT THE START OF EACH DEMOLITION PHASE. CAREFULLY SALVAGE ITEMS IDENTIFIED BY THE OWNER AND DELIVER THEM TO LOCATION INDICATED BY OWNER.
8. THE CONTRACTOR SHALL CONDUCT ALL WORK IN CONFORMANCE WITH COUNTYS REQUIREMENTS FOR DEMOLITION AND CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY DAMAGE IN THE SURROUNDING AREAS CAUSED BY DEMOLITION AND CONSTRUCTION IN" AREA OF WORK".
10. ALL EXISTING WALLS, COLUMNS, AND PERIMETER PIERS TO REMAIN IN "AREA OF WORK" ARE TO BE PATCHED AND REPAIRED TO RECEIVE NEW FINISHES.
11. ALL CONTRACTORS ARE TO COORDINATE WITH BUILDING OWNER THE USE OF ELEVATORS AND SERVICES, AND TO CONFORM TO ALL BUILDING REGULATIONS WITH REGARD TO DEMOLITION.
12. SEE ENGINEERING DRAWINGS AND NOTES FOR ADDITIONAL DEMOLITION REQUIREMENTS WHEN REFERRING TO HVAC, SPRINKLER, PLUMBING, ELECTRICAL, FIRE ALARM AND COMMUNICATION. "SYSTEM" SHALL MEAN EVERYTHING NEEDED TO SUPPORT OR TO BE PART OF "THE SYSTEM" INCLUDING BUT NOT LIMITED TO FASTENERS, POWER SUPPLY SYSTEMS, HVAC SYSTEMS, PLUMBING SYSTEMS AND ADHESIVES TO THE FULLEST EXTENT POSSIBLE.
13. DEMOLITION CONTRACTOR TO CONSULT WITH BUILDING OWNER WHEN REMOVING CONDUITS AND CABLES THAT MAY BE ACTIVE. IF SERVICE IS DISRUPTED CONTRACTOR TO PROVIDE ALL REPAIRS AS REQUIRED TO ANY CABLES AND CONDUITS.
14. ANY AND ALL ELECTRICAL/DATA AND TELEPHONE DEVICES, WIRING, CABLES, CONDUITS, ETC. TO BE REMOVED SHALL BE REVIEWED BY BUILDING OWNER, CLIENT CONSULTING ENGINEER AND ANY OTHER CONSULTANT DEEMED NECESSARY PRIOR TO ANY WORK.
15. REMOVAL OF SUCH ELECTRICAL EQUIPMENT SHALL BE DONE IN SUCH A WAY AS TO ALLOW THE OPERATIONS OF ADJACENT FLOORS TO CONTINUE WITHOUT INTERRUPTION OF ANY SERVICE DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NEEDED IN ORDER TO COMPLY WITH THIS REQUIREMENT.
16. ALL CONTRACTORS SHALL COORDINATE ALL REMOVALS WITH ALL OTHER TRADES.
17. CONTRACTOR SHALL PROTECT THE BUILDING INTERIOR FROM WEATHER AND WATER LEAKAGE AND DAMAGE.
18. CONTRACTOR TO PROVIDE ADEQUATE BRACING AND SUPPORTS AS REQUIRED TO ENSURE THE STRUCTURAL INTEGRITY OF THE EXISTING BUILDING TO REMAIN AS REQUIRED.
19. CAP ALL ABANDONED PIPING AND CONDUIT TO PREVENT POSSIBLE PASSAGeways FOR RODENTS, FIRE, OR GASES. COORDINATE WORK WITH ALL TRADES.
20. ALL ABANDONED POKE THROUGHS IN THE SLAB SHALL BE PATCHED AND FILLED PER STANDARDS AS STATED IN THE BUILDING RULES AND REGULATIONS, AND PER ALL LOCAL CODES.
21. FILL ALL UNUSED SLAB PENETRATIONS WITH PROPER STRUCTURAL AND FIRE RATED REQUIREMENTS.
22. ALL LAYERS OF FLOOR FINISHES SCHEDULED FOR REMOVAL SHALL BE REMOVED DOWN TO BASE SUB-FLOOR. ALL SUB-FLOORING SCHEDULED TO RECEIVE FLOORING SHALL BE STRIPPED OF ALL SEALANTS, MASTICS, GREASE, AND PAINT. NOTIFY ARCHITECT PRIOR TO REMOVAL TO ADDRESS BEST PRACTICE TO MOVE FORWARD.
23. REPAIR AND PATCH ALL SURFACES DAMAGED BY "THE WORK" TO MATCH AND TO BLEND INTO THE EXISTING ADJACENT SURFACE MATERIALS AND FINISHES, FLUSH AND SMOOTH, FOLLOWING THE PROCEDURES OF THE PROJECT MANUAL.
24. PROVIDE BLOCKING OR SHORING AS REQUIRED TO SUPPORT BUILDING SYSTEMS PRIOR TO DEMOLITION OF MASONRY OR NON - MASONRY BEARING WALLS OR SUPPORT STRUCTURES AS REQUIRED.
25. THE CONTRACTOR TO REMOVE ANY AND ALL DOORS, FRAMES AND HARDWARE IN THE EFFECTED AREAS. CONTRACTOR SHALL CONSULT WITH BUILDING OWNER FOR ANY DOORS/FRAMES OR HARDWARE THAT THE OWNER MIGHT WANT TO REUSE.
26. THE CONTRACTOR SHALL MAINTAIN A SAFE, SECURE AND CLEAN SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS THROUGHOUT THE ENTIRETY OF "THE WORK", AT NO ADDITIONAL COST TO THE OWNER. AT A MINIMUM THE SITE IS TO BE SECURELY LOCKED WHEN UNOCCUPIED AND BROOM SWEEP ON A DAILY BASIS AND SAFE OF LOOSE DEBRIS.
27. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS AND DISCARDED MATERIALS AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE. THE CONTRACTOR MUST KEEP ALL DEBRIS REMOVED FROM SITE SEPARATE FROM THE BUILDING TRASH AND PROVIDE DUMPSTERS THROUGH OUT CONSTRUCTION UNTIL PROJECT CLOSEOUT. LOCATE DUMPSTERS IN THE LOCATION DESIGNATED BY THE OWNER. PROMPTLY REPLACE DUMPSTERS WHEN THEY ARE FULL AND WHEN "THE WORK" HAS BEEN COMPLETED.
28. THE CONTRACTOR TO COORDINATE WITH THE BUILDING OWNER AS TO THE PROTECTION AND/OR STORAGE OF ANY ITEMS TO BE SAVED FROM DEMOLITION.
29. THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN (I.E. PLUMBING FIXTURES, WINDOWS, CONVECTOR COVERS' WALLS, CEILINGS, FLOORS, WINDOW TREATMENTS, AND EXPOSED FINISHES, ETC.) THROUGHOUT THE COURSE OF THE JOB AND REPAIR DAMAGE AS REQUIRED.
30. ASBESTOS NOTE: ANY ITEMS ENCOUNTERED IN THE DEMOLITION SUSPECTED OF CONTAINING HAZARDOUS MATERIALS SHALL BE BROUGHT TO THE OWNERS ATTENTION, FOR PROPER IDENTIFICATION AND DISPOSAL OF BY THE OWNERS DESIGNATED FORCES.
31. LEAD PAINT NOTE: DURING DEMOLITION, THE CONTRACTOR MUST BRING ANY MATERIALS SUSPECTED OF OCONTAINING LEAD PAINT TO THE COUNTYS ATTENTION IMMEDIATELY FOR PROPER IDENTIFICATION AND DIRECTION OF FURTHER WORK. THE CONTRACTOR SHALL FOLLOW LOCAL, STATE AND FEDERAL CODES ON RECOMMENDATIONS FOR REMOVAL.



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Project:

SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK ROOM  
RENOVATIONS

78 Washington Ave    Schenectady, NY 12305

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No.	REVISION #	DATE:

Drawn By: C2 Architecture

Scale: As Noted

Date: 04/19/2024

Job No: 2349

Sheet Title:

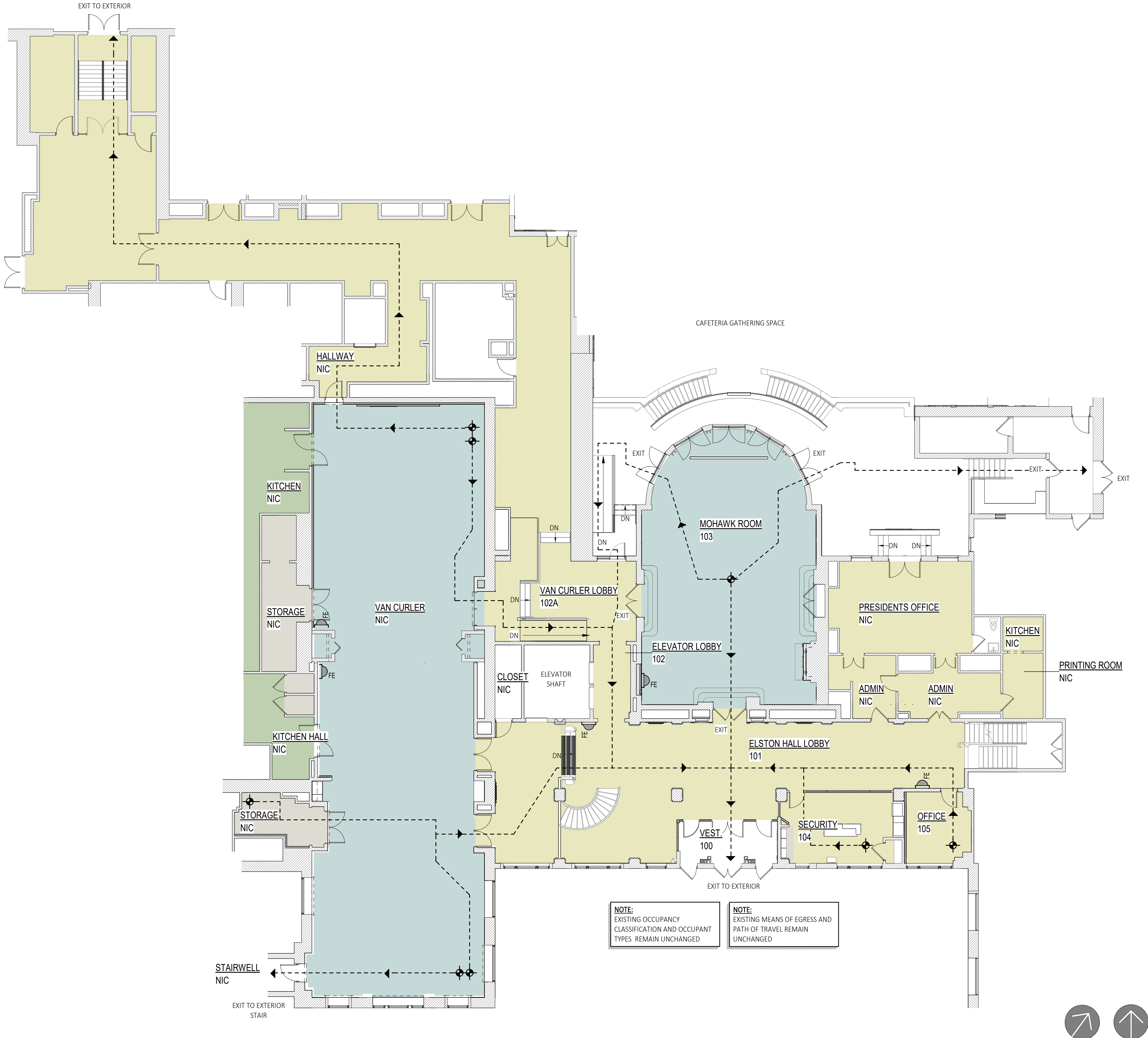
GENERAL NOTES

Sheet Number:

G102

PLOT DATE: 4/26/2024 9:33:44 AM





1 Life Safety Plan  
G200 SCALE: 3/32" = 1'-0"

Additional Code Provisions

1. THROUGH-PENETRATION FIRESTOP SYSTEM REQUIREMENTS: THROUGH-PENETRATIONS OF  
1. FIRE-RESISTANCE RATED WALL ASSEMBLIES SHALL BE PROTECTED BY AN APPROVED  
2. THROUGH-PENETRATION FIRESTOP SYSTEM, WITH AN F RATING OF NOT LESS THAN 1-HOUR,  
3. INSTALLED AND TESTED IN ACCORDANCE WITH ASTM E 814-2006 or UL 1476-2003, WITH A  
4. MINIMUM POSITIVE PRESSURE DIFFERENTIAL OF 0.01 INCH OF WATER.
2. THERMAL AND SOUND INSULATING MATERIALS; ALL INSULATING MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84-2007 or UL 723-2003.
3. FIRE EXTINGUISHERS SHALL BE MOUNTED 42" MAXIMUM A.F.F. SEE LIFE SAFETY PLAN FOR EXTINGUISHER LOCATIONS, EXISTING FIRE EXTINGUISHER LOCATIONS ARE TO BE MAINTAINED. PRESERVE AND PROTECT FIRE EXTINGUISHERS DURING THE WORK
4. COMBUSTIBLE MATERIAL SHALL BE PERMITTED IN BUILDINGS OF TYPE I OR TYPE II CONSTRUCTION PER 2020 NYSBC 603.1:  
1. MILLWORK SUCH AS DOOR,S DOOR FRAMES, WINDOW SASHES AND FRAMES  
2. INTERIOR WALL AND CEILING FINISHES INSTALLED PER IBC SECTIONS 801 & 803  
3. TRIM INSTALLED IN ACCORDANCE WITH IBC 802  
4. BLOCKING SUCH AS HANDRAILS, MILLWORK AND CABINETS  
5. SPRAYED FIRE RESISTIVE MATERIALS
5. PLYWOOD AND MDF SUBSTRATES SHALL BE FIRE TREATED

Life Safety Plan Legend

	ASSEMBLY AREA (15 NEW TABLES AND CHAIRS)		SEMI RECESSED FIRE EXTINGUISHER CABINET
	BUSINESS AREA		TRAVEL DISTANCE START POINT
	STORAGE / MECHANICAL AREAS (300 SF)		PATH OF TRAVEL
	KITCHEN AREA		

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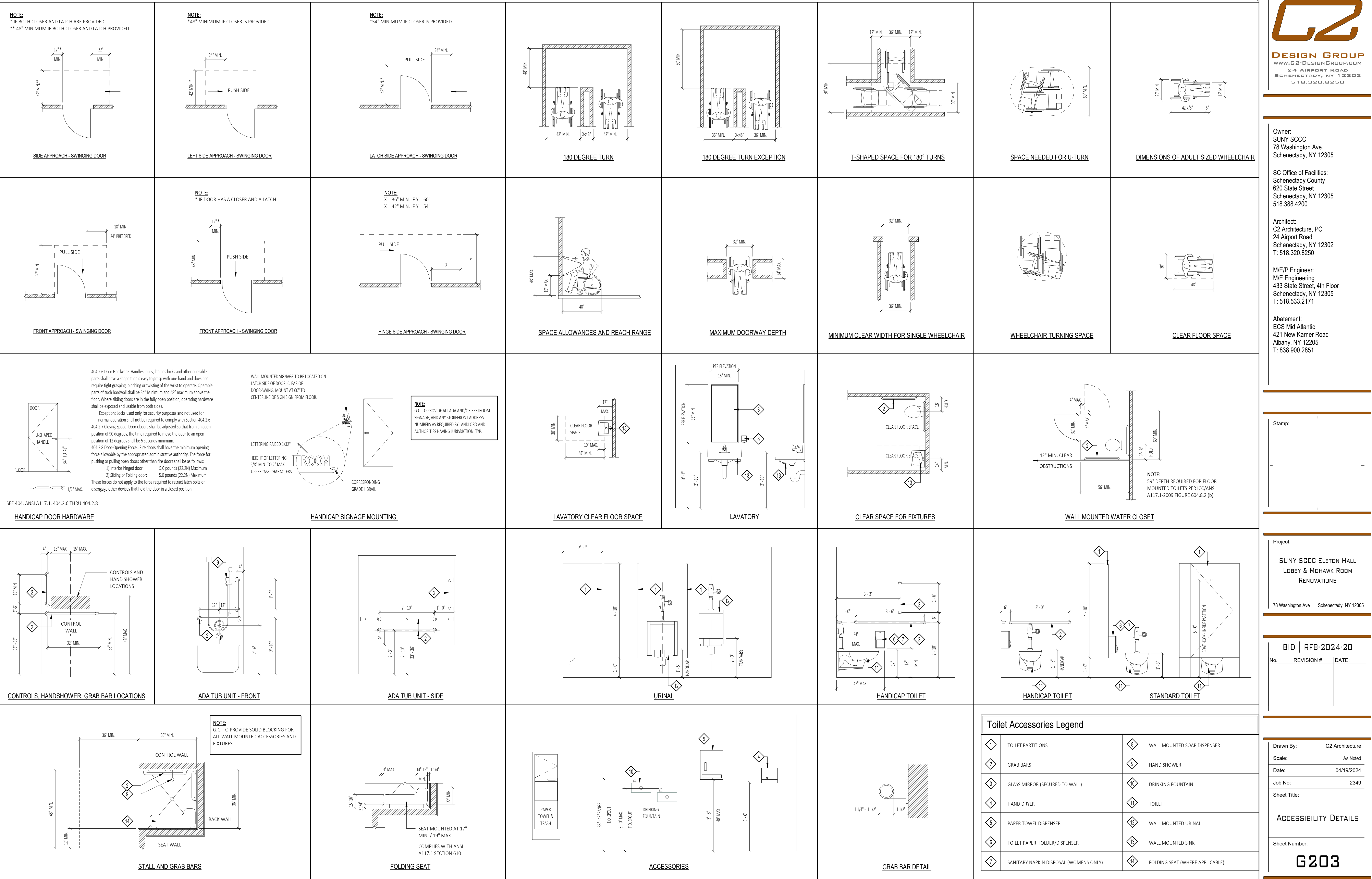
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SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK ROOM  
RENOVATIONS  
  
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Drawn By:	C2 Architecture
Scale:	As Noted
Date:	04/19/2024
Job No:	2349
Sheet Title:	ELSTON HALL 1st LEVEL LIFE SAFETY PLAN
Sheet Number:	G200



## ACCESSIBILITY DETAILS







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No.	REVISION #	DATE:

Drawn By: C2 Architecture

Scale: As Noted

Date: 04/19/2024

Job No: 2349

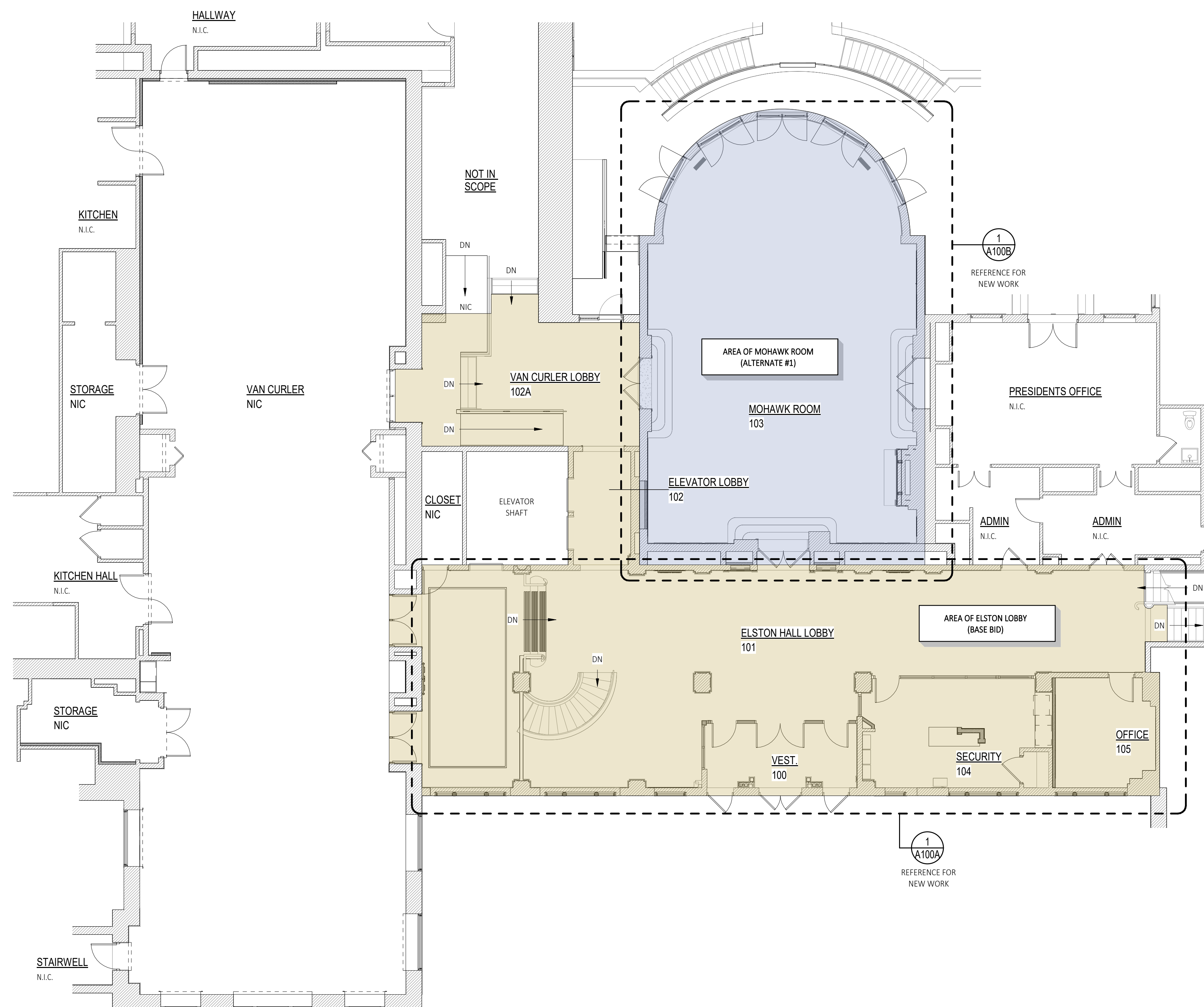
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AREA OF WORK PLAN

Sheet Number:

# G300

PLOT DATE: 4/26/2024 9:33:50 AM



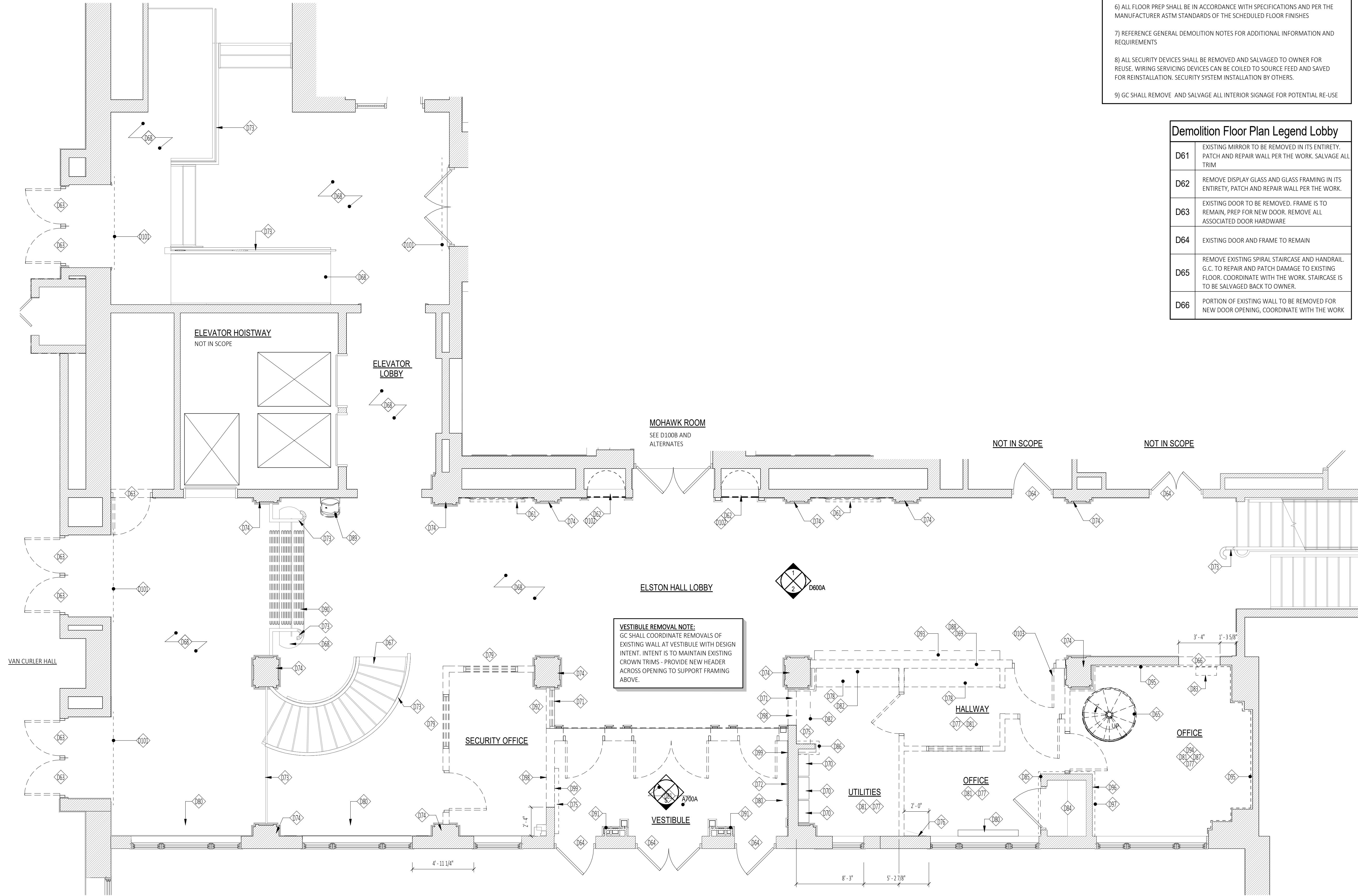
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PROJECT 1

1 Floor Plan - Room Key  
G300 SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"





### ELSTON HALL LOBBY DEMOLITION NOTES

- 1) ALL REMOVALS SHALL BE COORDINATED WITH THE OVERALL SCOPE OF WORK. ANY REMOVAL REQUIRED TO ALLOW THE DESIGN INTENT AND SCOPE OF WORK TO BE COMPLETED SHALL BE PART OF THE BID, WITH NO ADDITIONAL COST TO THE OWNER.
- 2) REMOVE ALL EXISTING DRAPERIES, CURTAINS AND CURTAIN RODS. SALVAGE TO OWNER.
- 3) IF REMOVAL IS REQUIRED FOR THE WORK, SALVAGE ALL WIFI DEVICES BACK TO OWNER.
- 4) REFERENCE M/E/P PLANS FOR ADDITIONAL REMOVALS AND COORDINATION
- 5) FOR BID PURPOSES, ASSUME ALL MISCELLANEOUS FURNISHINGS SHALL BE REMOVED AND STORED BY OTHERS, UNLESS NOTED OTHERWISE.
- 6) ALL FLOOR PREP SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND PER THE MANUFACTURER ASTM STANDARDS OF THE SCHEDULED FLOOR FINISHES
- 7) REFERENCE GENERAL DEMOLITION NOTES FOR ADDITIONAL INFORMATION AND REQUIREMENTS
- 8) ALL SECURITY DEVICES SHALL BE REMOVED AND SALVAGED TO OWNER FOR REUSE. WIRING SERVICING DEVICES CAN BE COILED TO SOURCE FEED AND SAVED FOR REINSTALLATION. SECURITY SYSTEM INSTALLATION BY OTHERS.
- 9) GC SHALL REMOVE AND SALVAGE ALL INTERIOR SIGNAGE FOR POTENTIAL RE-USE

### Demolition Floor Plan Legend Lobby

D61	EXISTING MIRROR TO BE REMOVED IN ITS ENTIRETY. PATCH AND REPAIR WALL PER THE WORK. SALVAGE ALL TRIM
D62	REMOVE DISPLAY GLASS AND GLASS FRAMING IN ITS ENTIRETY, PATCH AND REPAIR WALL PER THE WORK.
D63	EXISTING DOOR TO BE REMOVED. FRAME IS TO REMAIN, PREP FOR NEW DOOR. REMOVE ALL ASSOCIATED DOOR HARDWARE
D64	EXISTING DOOR AND FRAME TO REMAIN
D65	REMOVE EXISTING SPIRAL STAIRCASE AND HANDRAIL. G.C. TO REPAIR AND PATCH DAMAGE TO EXISTING FLOOR. COORDINATE WITH THE WORK. STAIRCASE IS TO BE SALVAGED BACK TO OWNER.
D66	PORTION OF EXISTING WALL TO BE REMOVED FOR NEW DOOR OPENING, COORDINATE WITH THE WORK

### Demolition Floor Plan Legend Lobby

D67	EXISTING STAIR TO BASEMENT TO REMAIN
D68	EXISTING FLOORING TO REMAIN, SEE FINISH NOTES FOR TERRAZZO WORK
D69	REMOVE PORTION OF EXISTING WALL AS SHOWN BY THE DASHED LINES. COORDINATE WITH THE WORK. SEE DEMOLITION ELEVATIONS
D70	EXISTING FIRE ALARM, ELECTRICAL PANEL AND OTHER UTILITY EQUIPMENT TO REMAIN. G.C. TO PROTECT WHILE CONSTRUCTION.
D71	PARTIAL WALL REMOVAL COORD. THE WORK. SEE DEMOLITION ELEVATIONS. MAINTAIN BASE ALONG COLUMN ENCLOSURE
D72	MAINTAIN EXISTING PLAQUE - PROTECT THROUGHOUT CONSTRUCTION
D73	EXISTING HANDRAIL TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION.
D74	EXISTING COLUMN ENCLOSURE TO REMAIN, G.C. TO PROTECT DURING DEMOLITION
D75	REMOVE WALL HEATER IN ITS ENTIRETY
D76	EXISTING ELECTRICAL PANEL TO REMAIN
D77	REMOVE ALL EXISTING VINYL FLOOR BASE. MAINTAIN ALL EXISTING WOOD BASE
D78	REMOVE EXISTING COUNTER AND/OR BASE CABINETS IN THEIR ENTIRETY
D79	REMOVE EXISTING SECURITY OFFICE ENCLOSURE IN ITS ENTIRETY
D80	EXISTING WALL HEATER TO BE REPLACED - COORDINATE WITH MEP SCOPE OF WORK
D81	REMOVE EXISTING FLOORING FINISH TO EXISTING SUBBASE (ASSUMED TERRAZZO) IN THIS ROOM. PREP SURFACE AS REQUIRED TO RECEIVE SCHEDULED FINISH.
D82	REMOVE EXISTING WALL MOUNTED SHELVES.
D83	REMOVE EXISTING KEY BOX AND SALVAGE TO OWNER FOR POTENTIAL REUSE.
D84	EXISTING SAFE TO REMAIN
D85	COORDINATE ELECTRICAL REMOVALS WITH ELECTRICAL SCOPE OF WORK. INTENT IS TO REMOVE SURFACE MOUNTED CONDUIT
D86	MAINTAIN PIPING AT WALL. COORDINATE WITH THE WORK
D87	REMOVE ALL ABANDONED EQUIPMENT ON MEZZANINE IN THEIR ENTIRETY
D88	EXISTING STEEL BULKHEAD FRAMING IN THIS WALL TO BE REMOVED AS PART OF WALL REMOVAL
D89	REMOVE EXISTING DRINKING FOUNTAIN. G.C. TO PATCH AND REPAIR DAMAGE TO EXISTING WALL. REFERENCE PLUMBING/MECHANICAL DRAWINGS FOR MORE INFORMATION
D90	REMOVE EXISTING TREAD METAL STRIPS. CLEAN AND PREP SURFACE TO RECEIVE SCHEDULED GRIT STRIPS
D91	EXISTING DECORATIVE COLUMN AND TRIM TO REMAIN, G.C. TO PROTECT DURING CONSTRUCTION
D92	REMOVE EXISTING VISION PANEL AND FRAME IN ITS ENTIRETY. COORDINATE WITH THE WORK.
D93	REMOVE EXISTING GRANITE COUNTER. COORDINATE WITH THE WORK.
D94	REMOVE EXISTING MEZZANINE STRUCTURE ABOVE IN ITS ENTIRETY. G.C. TO REPAIR AND PATCH DAMAGE TO EXISTING PERIMETER WALLS. COORDINATE WITH THE WORK.
D95	REMOVE EXISTING WALL PANELING SYSTEM BACK TO EXISTING PLASTER WALL. CLEAN AND PREP PLASTER WALL TO RECEIVE SCHEDULED FINISH.
D96	COORDINATE "CAT" SYSTEM REMOVAL WITH OVERALL MECHANICAL SCOPE
D97	REMOVE ALL EXISTING MOULDING AND BASE TRIM FROM EXISTING SAFE ENCLOSURE
D98	REMOVE BASE, SALVAGE AND PROTECT FOR RE-USE (EACH SIDE OF WALL)
D99	REMOVE WAINSCOT TRIM
D101	REMOVE EXISTING SIGNAGE - SALVAGE TO OWNER
D102	EXISTING DISPLAY ALCOVE TO BE REMOVE COORDINATE LIGHTING AND ELECTRICAL REMOVAL WITH ELECTRICAL CONTRACTOR
D103	SALVAGE EXISTING DOOR HARDWARE AND FRAME TO OWNER



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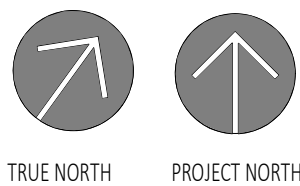
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DEMOLITION PLAN

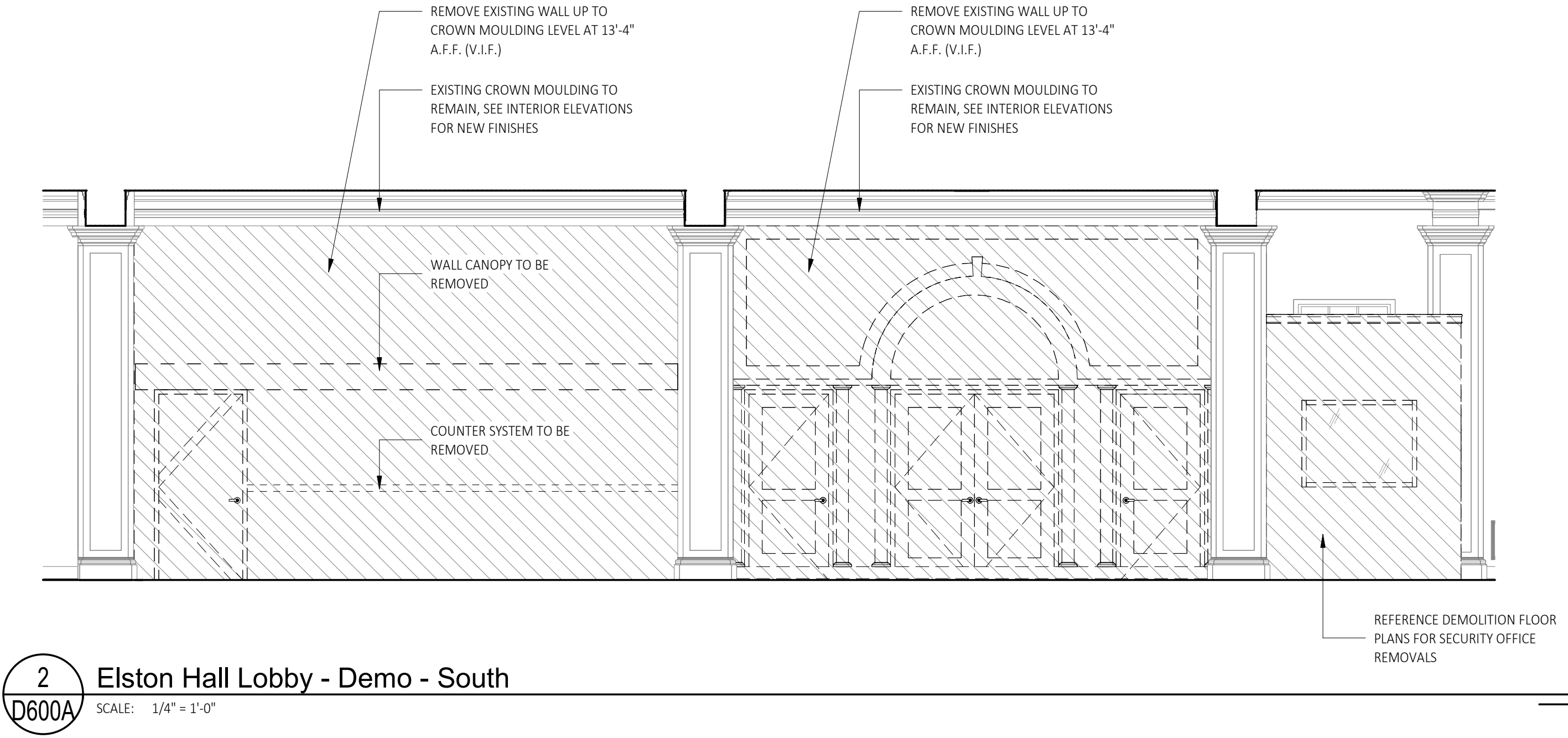
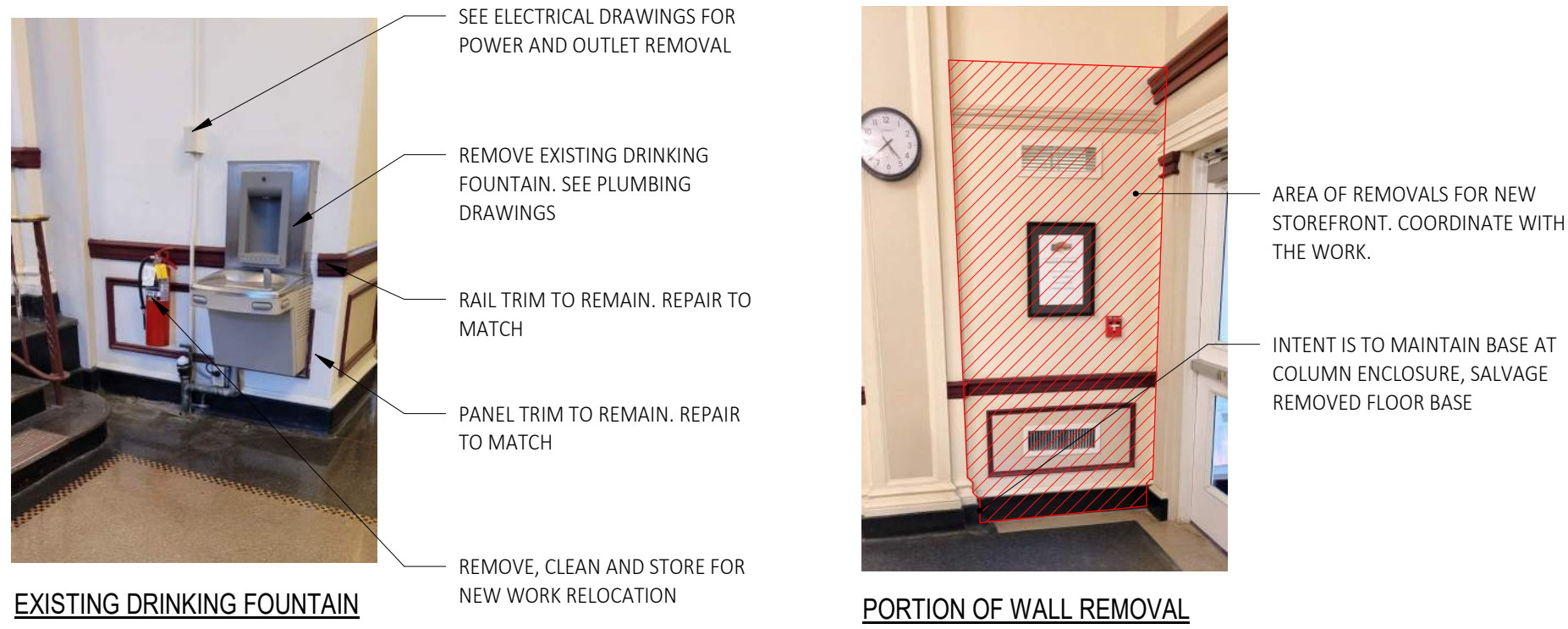
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D100A

PLOT DATE: 4/26/2024 9:34:01 AM









Van Curler RCP Demolition Legend	
D860	REMOVE EXISTING CEILING SYSTEM AND LIGHT FIXTURES IN THEIR ENTIRETY. COORDINATE ELECTRICAL REMOVALS WITH THE WORK
D861	REMOVE EXISTING CHANDELIER. COORDINATE ELECTRICAL WITH THE WORK
D862	EXISTING CEILING MEDALLION TO REMAIN, PRESERVE DURING CHANDELIER REMOVALS
D864	EXISTING CROWN MOULDING TO REMAIN, TYP
D865	EXISTING PLASTER CEILING TO REMAIN. PATCH AND REPAIR AS REQUIRED
D867	REMOVE EXISTING STEEL FRAMING/CEILING SUPPORTS ABOVE EXISTING CEILING
D868	MAINTAIN EXISTING CROWN TRIM AND WRAPPED BEAM ABOVE
D869	ALL EXISTING SECURITY ROOM ELEMENTS TO BE REMOVED IN THEIR ENTIRETY
D870	COORDINATE PARTIAL CEILING REMOVALS WITH ELECTRICAL PROVISIONS
D871	LINE OF EXISTING TRIM BEAM TO REMAIN
D872	SEE DEMOLITION PLAN AND ELEVATIONS FOR EXTENT OF WALL REMOVAL AT THIS AREA
D873	REMOVE EXISTING PLASTER CEILING FRAMING ABOVE. PLASTER ITSELF HAS BEEN PREVIOUSLY REMOVED



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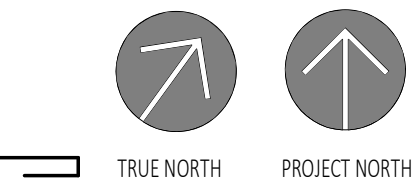
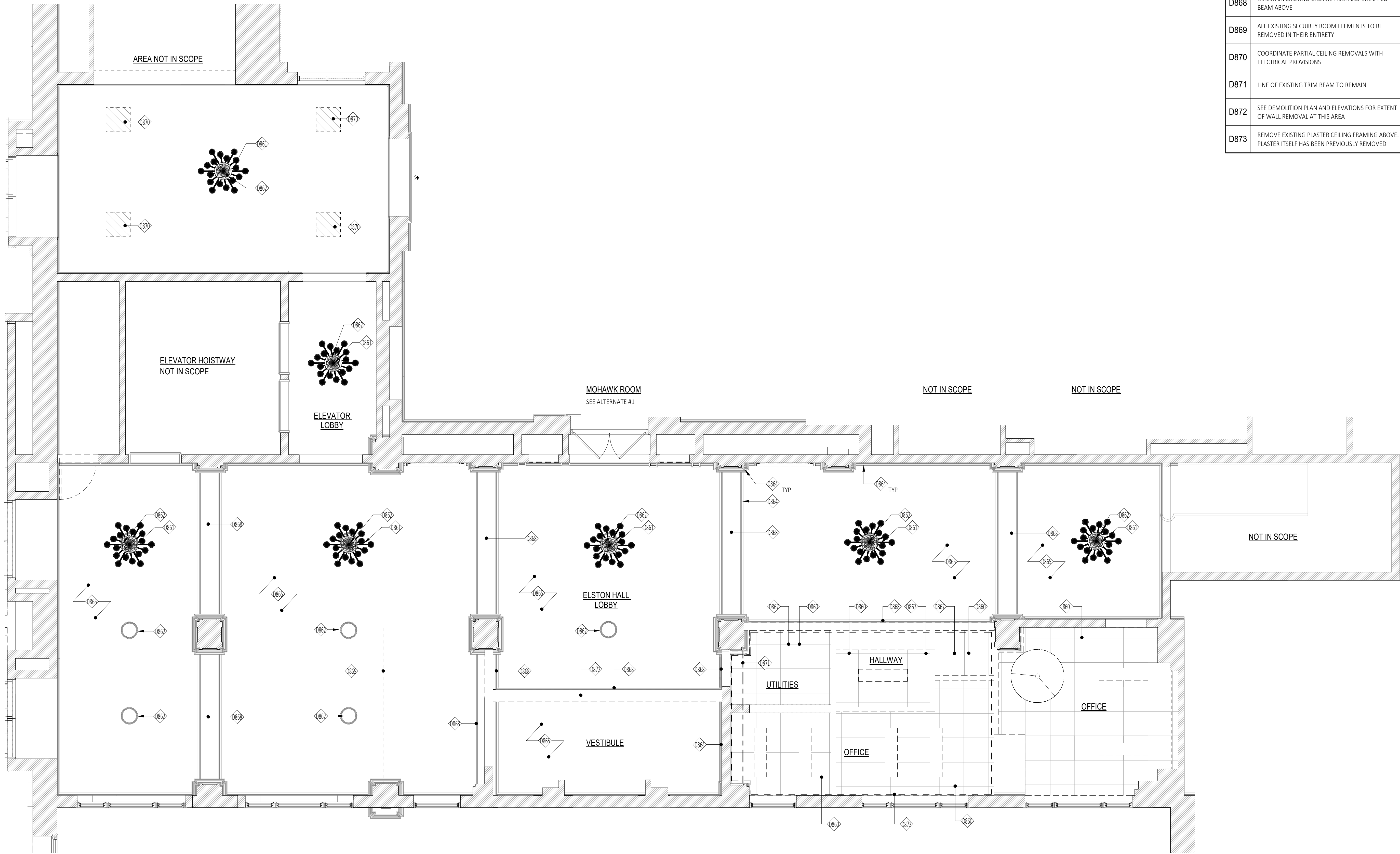
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Drawn By: C2 Architecture

Scale: As Noted

Date: 04/19/2024

Job No: 2349

Sheet Title:

Elston Hall Lobby  
Ceiling Demolition Plan

Sheet Number:

D800A





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## 185 FAN COIL UNIT, REFERENCE MECHANICAL DRAWINGS

- 1) ALL TRIMS SHALL BE FIELD INSPECTED BY CONTRACTOR AND PATCHED/REPAIRED TO RESTORE CONDITION TO "LIKE NEW"
- 2) AT AREAS OF REPAIR AND RESTORATION, TRIM SHALL BE SANDED SMOOTH AND DEBRIS REMOVED.
- 3) AREAS OF REPAIR/RESTORATION SHALL BE FILLED/MOLDED WITH EPOXY FILLER PUTTY (OR APPROVED EQUAL) AND SANDED TO RESTORE THE ORIGINAL PROFILE.
- 4) PREP TRIM AS REQUIRED FOR NEW PAINT.

**EXISTING WINDOW REPAIR NOTES:**  
ALL EXISTING WOOD WINDOWS SHALL BE PROTECTED DURING CONSTRUCTION. INTERIOR OF WINDOWS SHALL BE SCRAPPED AND PAINTED (PT-23). REPAIR OF WINDOW OPERATION AND PANES SHALL BE PART OF A FUTURE SCOPE OF WORK AND EXCLUDED FROM THIS CONTRACT

SCALE: 1/4" = 1'-0"

TRUE NORTH      PROJECT NORTH



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Stamp:

Project:  
**SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK ROOM  
RENOVATIONS**

78 Washington Ave Schenectady, NY 12305

BID | RFB-2024-20

No.	REVISION #	DATE:

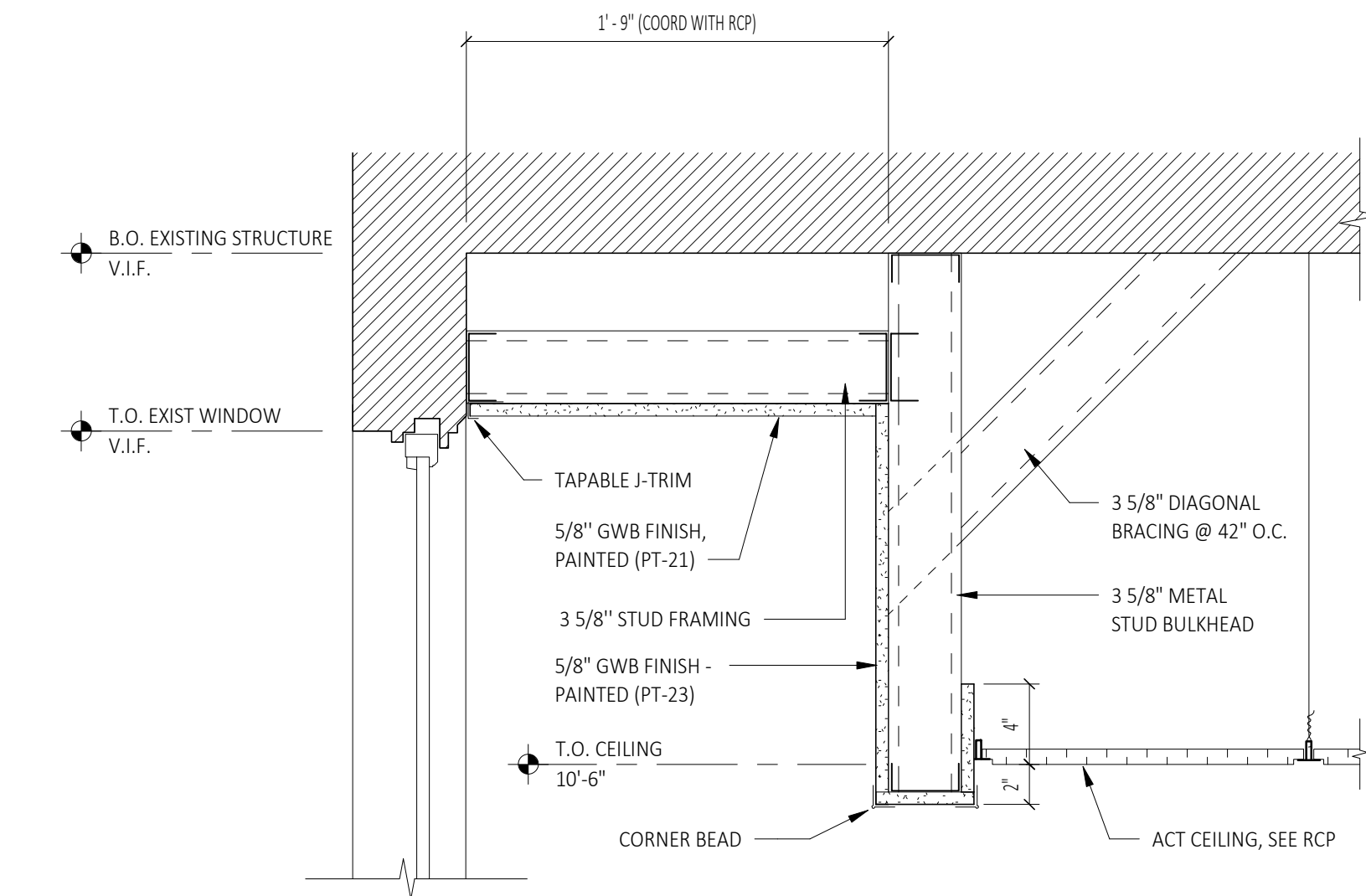
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Scale: As Noted  
Date: 04/19/2024  
Job No: 2349  
Sheet Title:

**DETAILS - ELSTON HALL  
LOBBY**

Sheet Number:

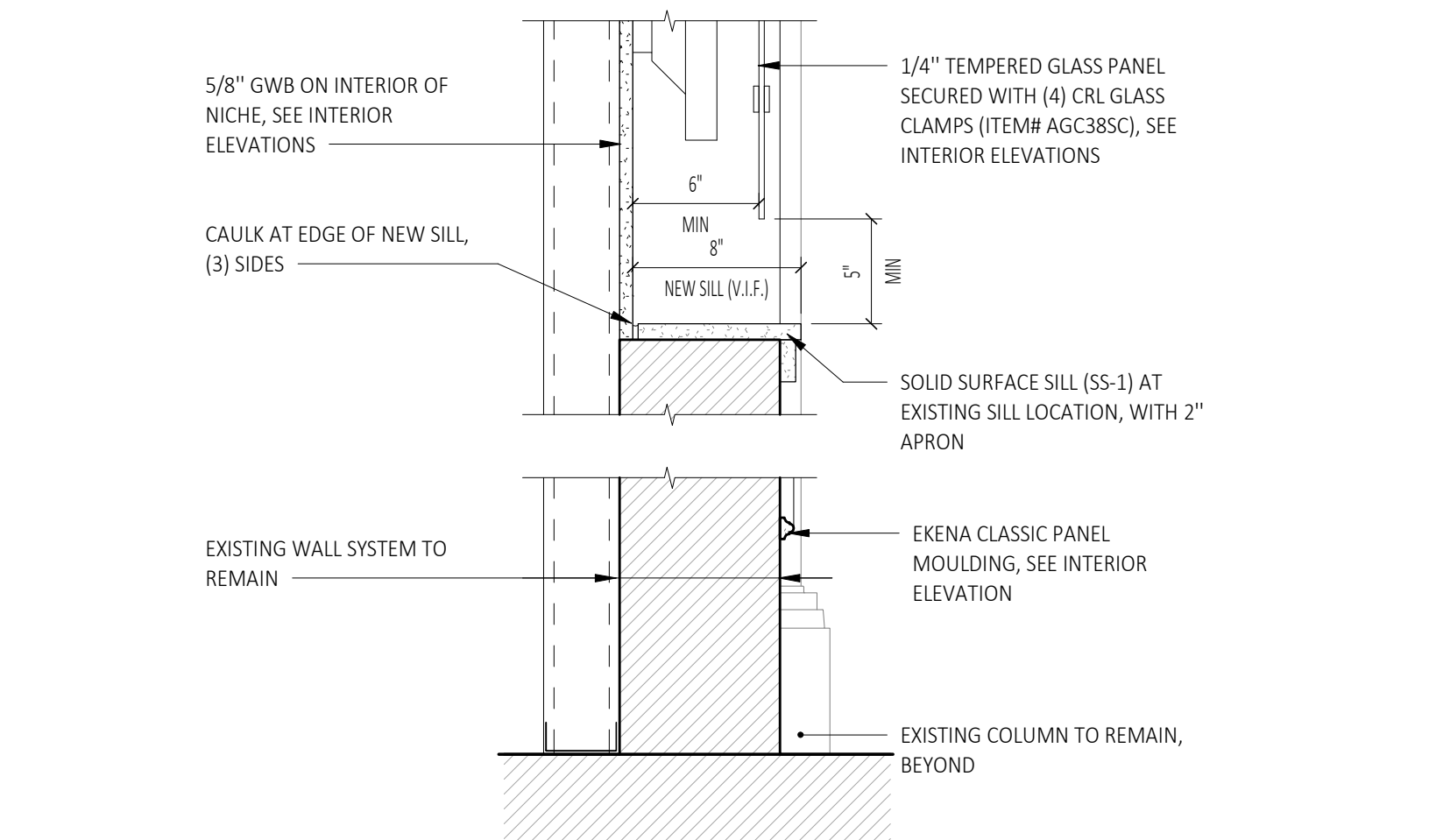
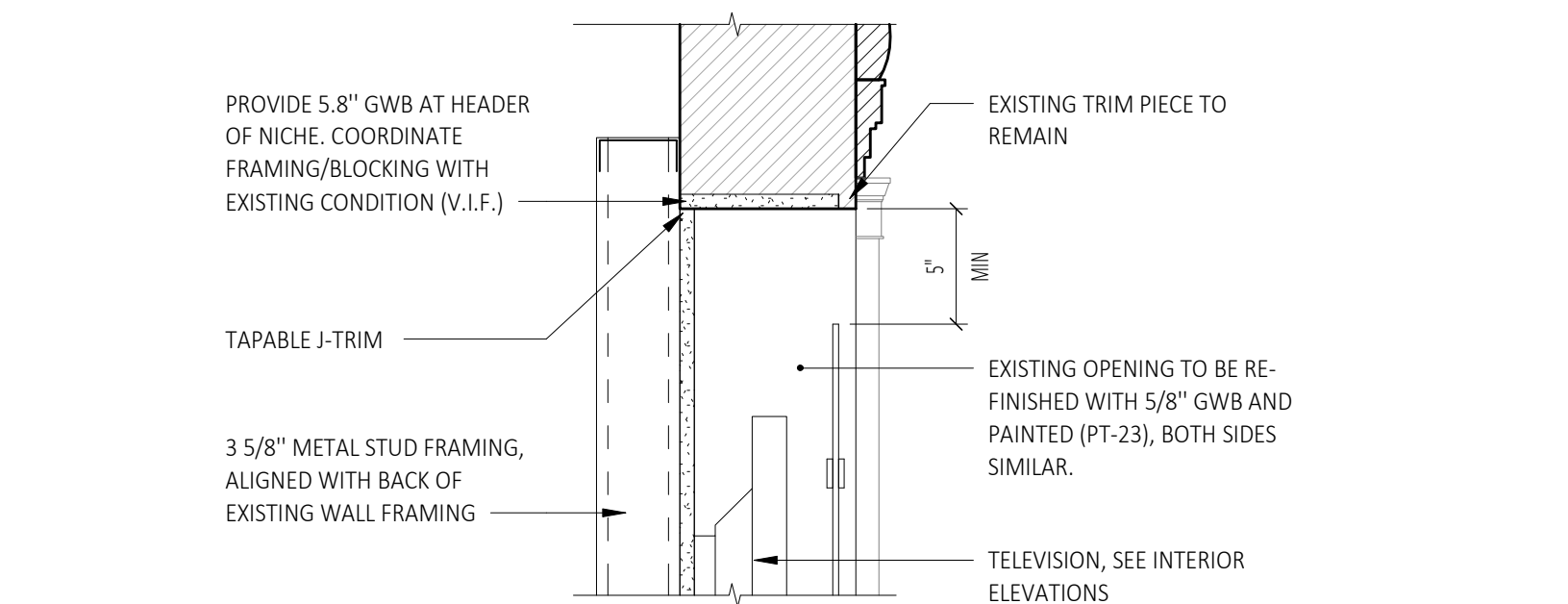
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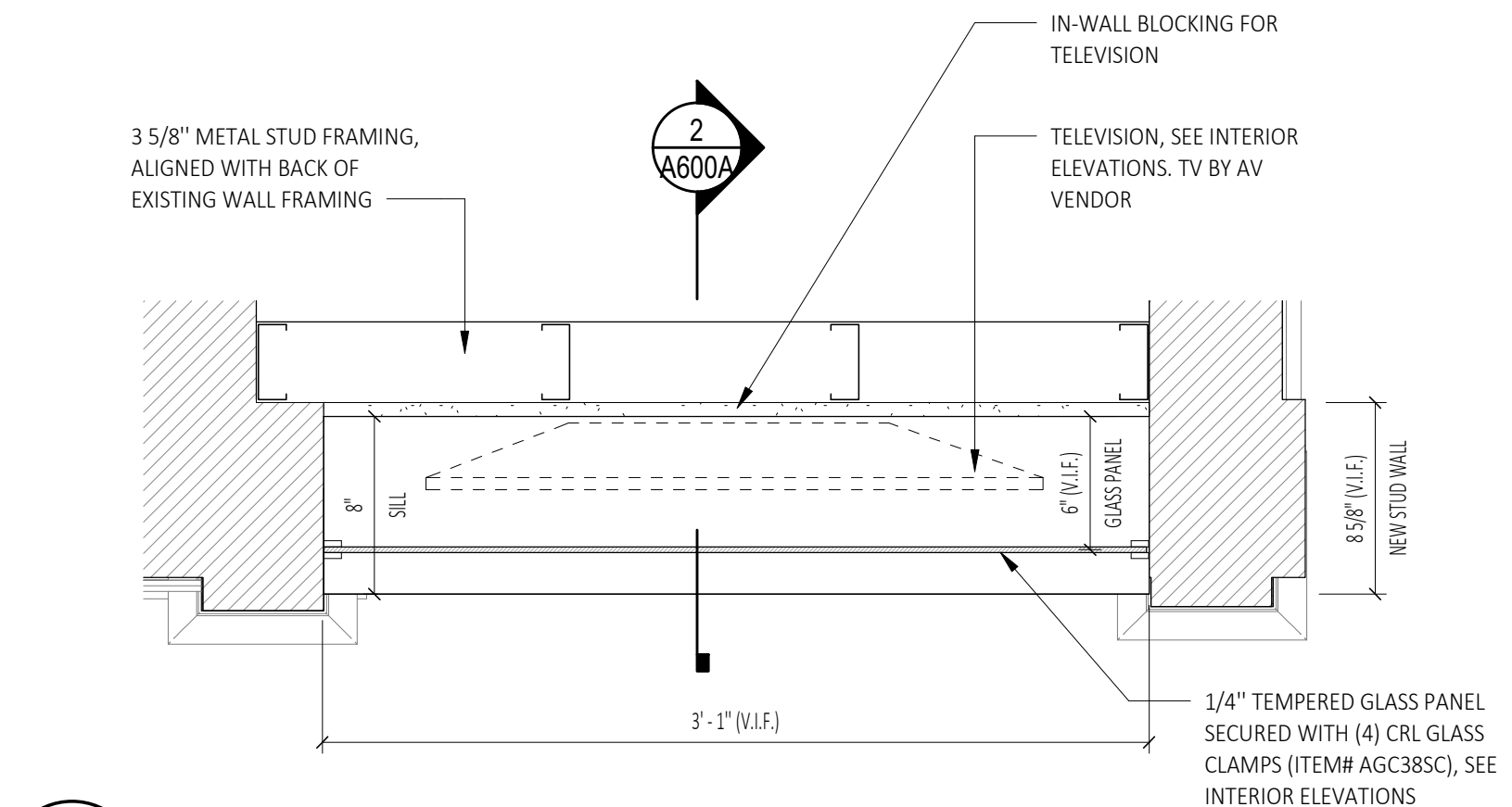
**3 Window Well Detail**

SCALE: 1 1/2" = 1'-0"



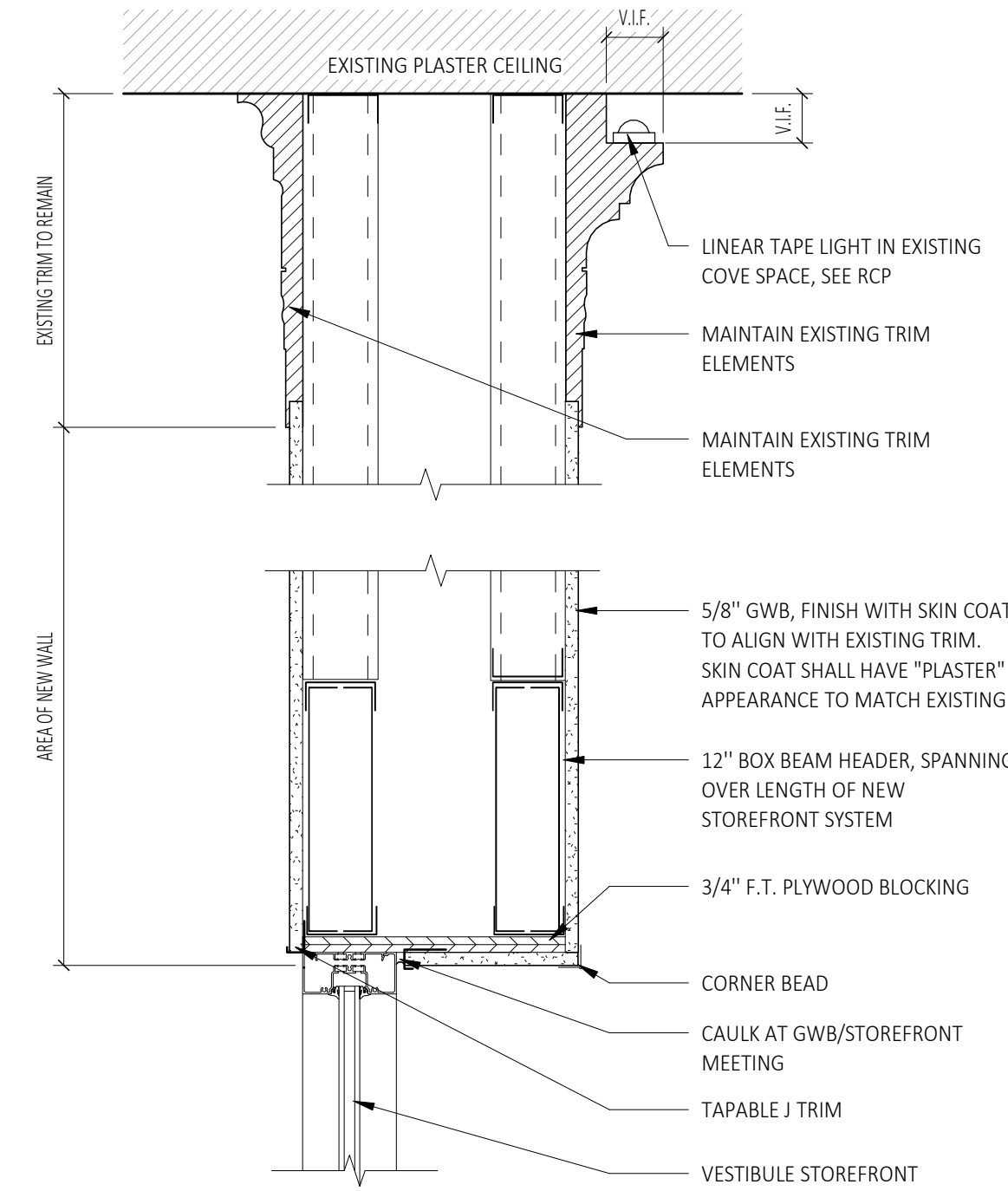
**2 Section Detail - Television Niche**

SCALE: 1 1/2" = 1'-0"



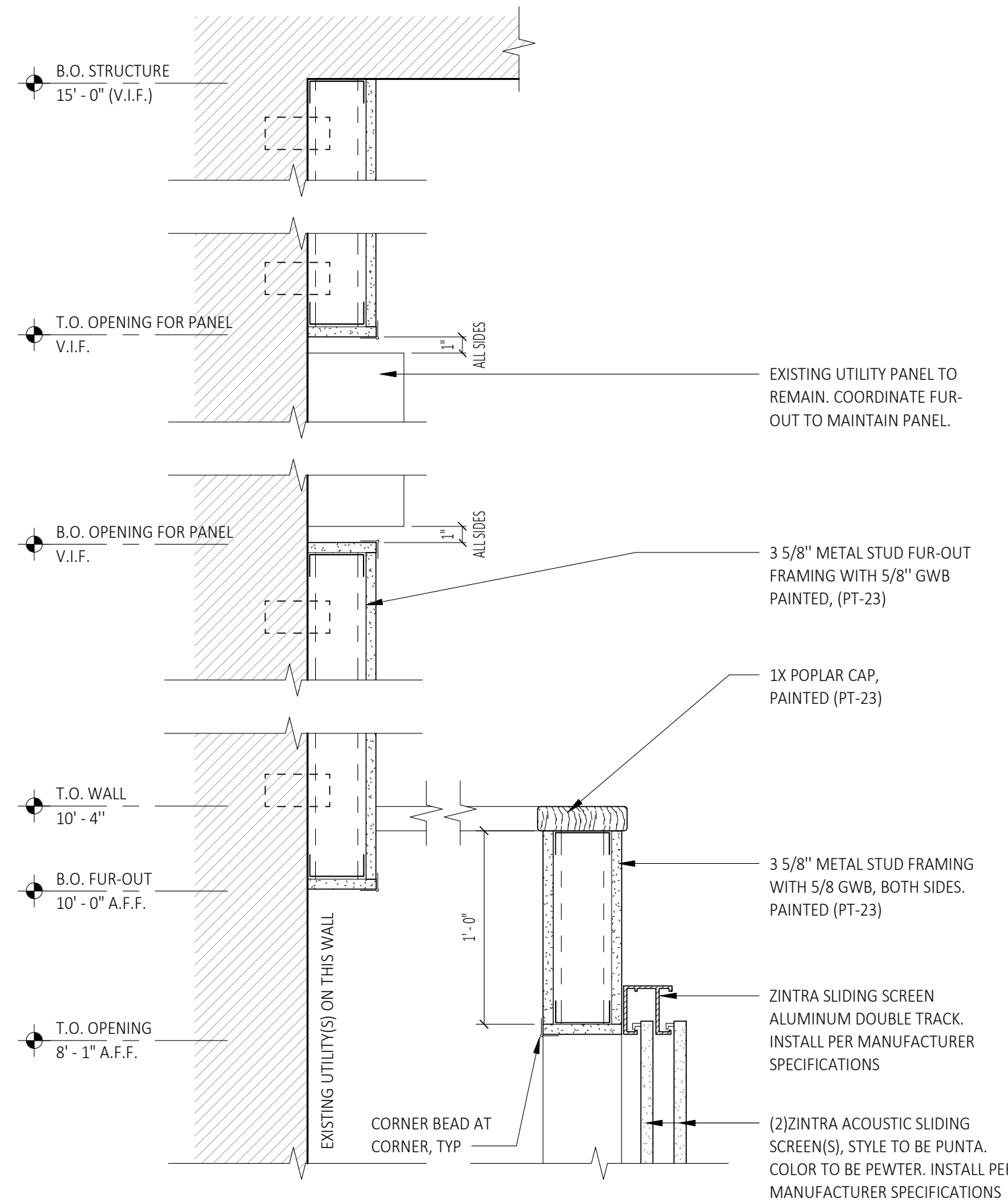
**1 Enlarged Plan - Television Niche**

SCALE: 1 1/2" = 1'-0"



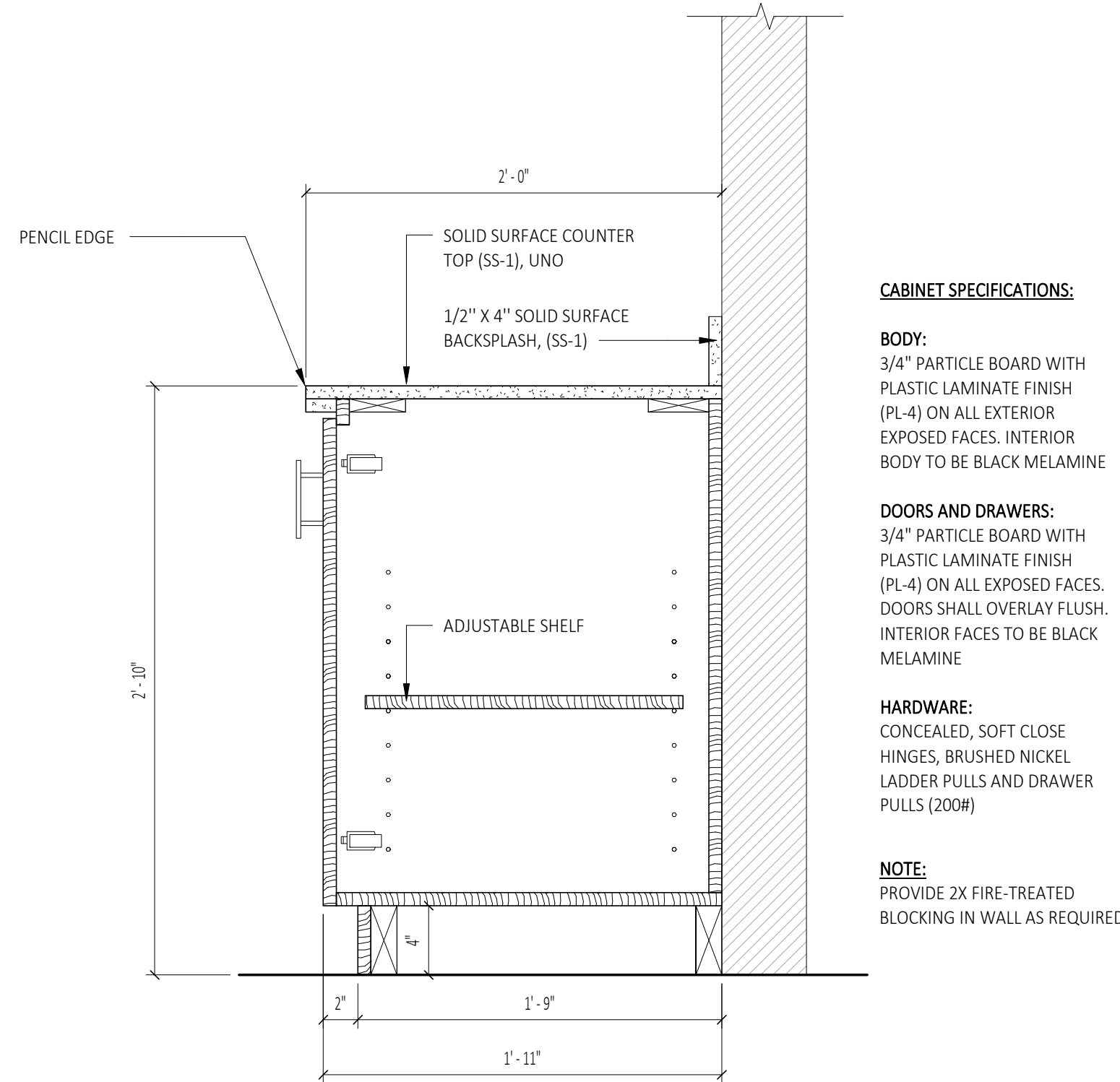
**5 Section Detail - Storefront Vestibule Bulkhea**

SCALE: 1 1/2" = 1'-0"



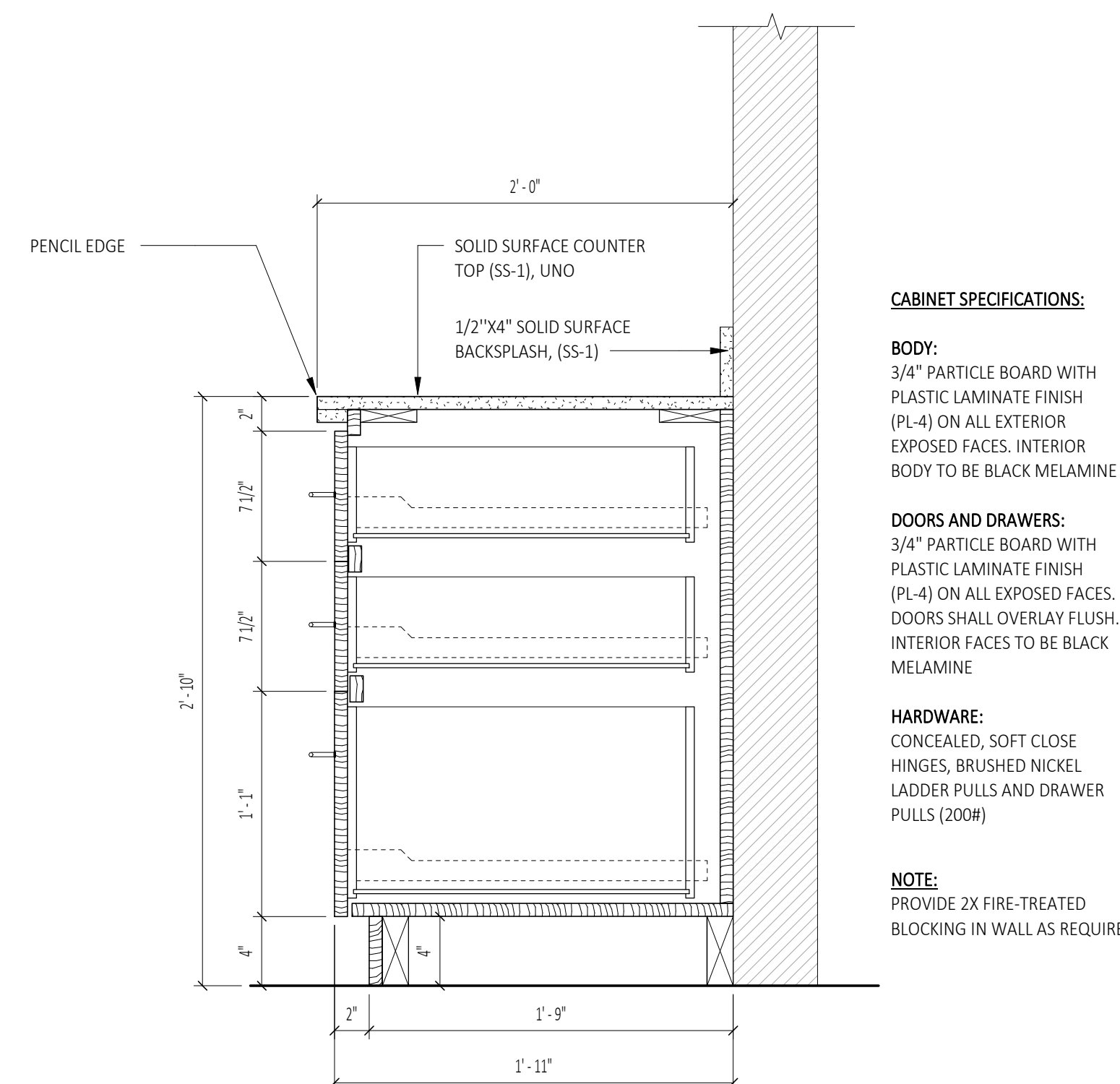
**4 Section Detial - Acoustic Panels at Utility Wall**

SCALE: 1 1/2" = 1'-0"



**7 Section Detail - Office Cabinet**

SCALE: 1 1/2" = 1'-0"



**6 Section Detail - Office Drawers**

SCALE: 1 1/2" = 1'-0"

**CABINET SPECIFICATIONS:**

**BODY:**  
3/4" PARTICLE BOARD WITH PLASTIC LAMINATE FINISH (PL-4) ON ALL EXTERIOR EXPOSED FACES. INTERIOR BODY TO BE BLACK MELAMINE

**DOORS AND DRAWERS:**  
3/4" PARTICLE BOARD WITH PLASTIC LAMINATE FINISH (PL-4) ON ALL EXPOSED FACES. DOORS SHALL OVERLAY FLUSH. INTERIOR FACES TO BE BLACK MELAMINE

**HARDWARE:**  
CONCEALED, SOFT CLOSE HINGES, BRUSHED NICKEL LADDER PULLS AND DRAWER PULLS (200#)

**NOTE:**  
PROVIDE 2X FIRE-TREATED BLOCKING IN WALL AS REQUIRED

**CABINET SPECIFICATIONS:**

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**HARDWARE:**  
CONCEALED, SOFT CLOSE HINGES, BRUSHED NICKEL LADDER PULLS AND DRAWER PULLS (200#)

**NOTE:**  
PROVIDE 2X FIRE-TREATED BLOCKING IN WALL AS REQUIRED



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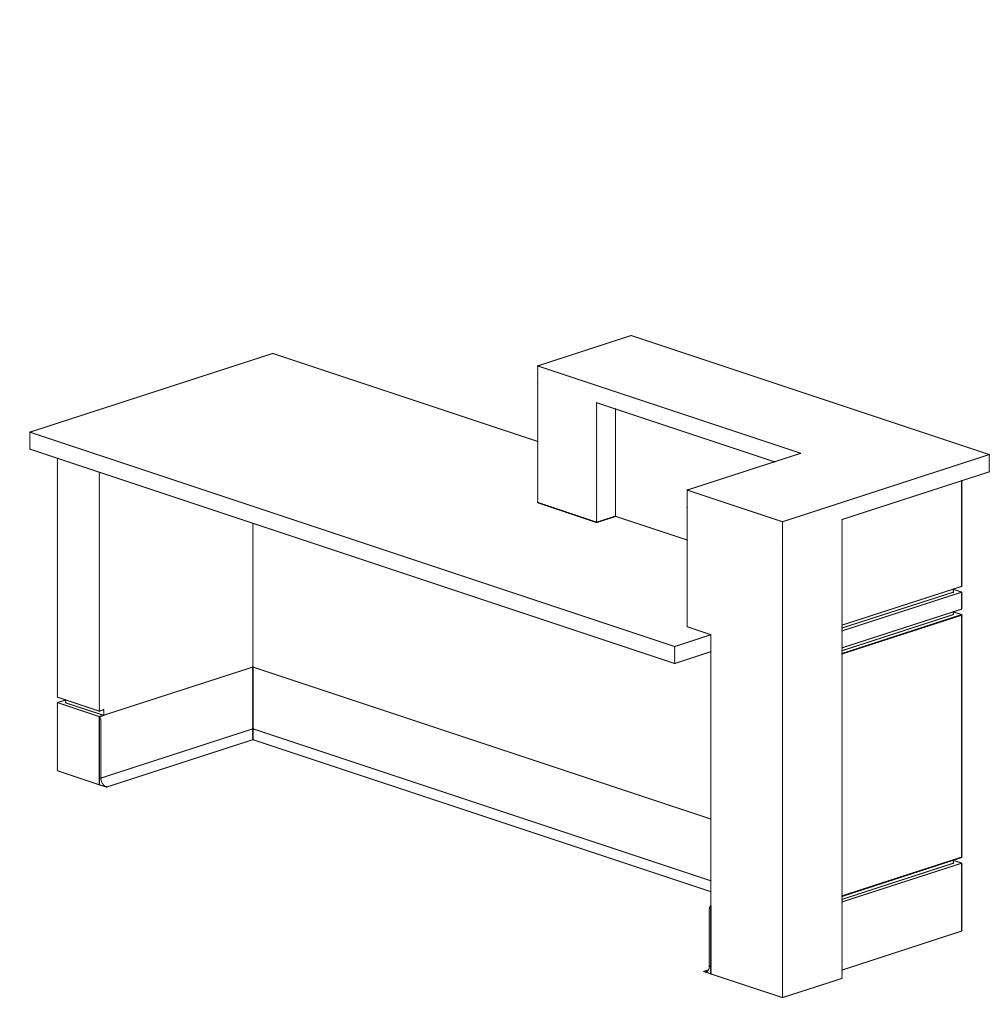
Project:  
  
SUNY SCCC ELSTON HALL  
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RENOVATIONS  
  
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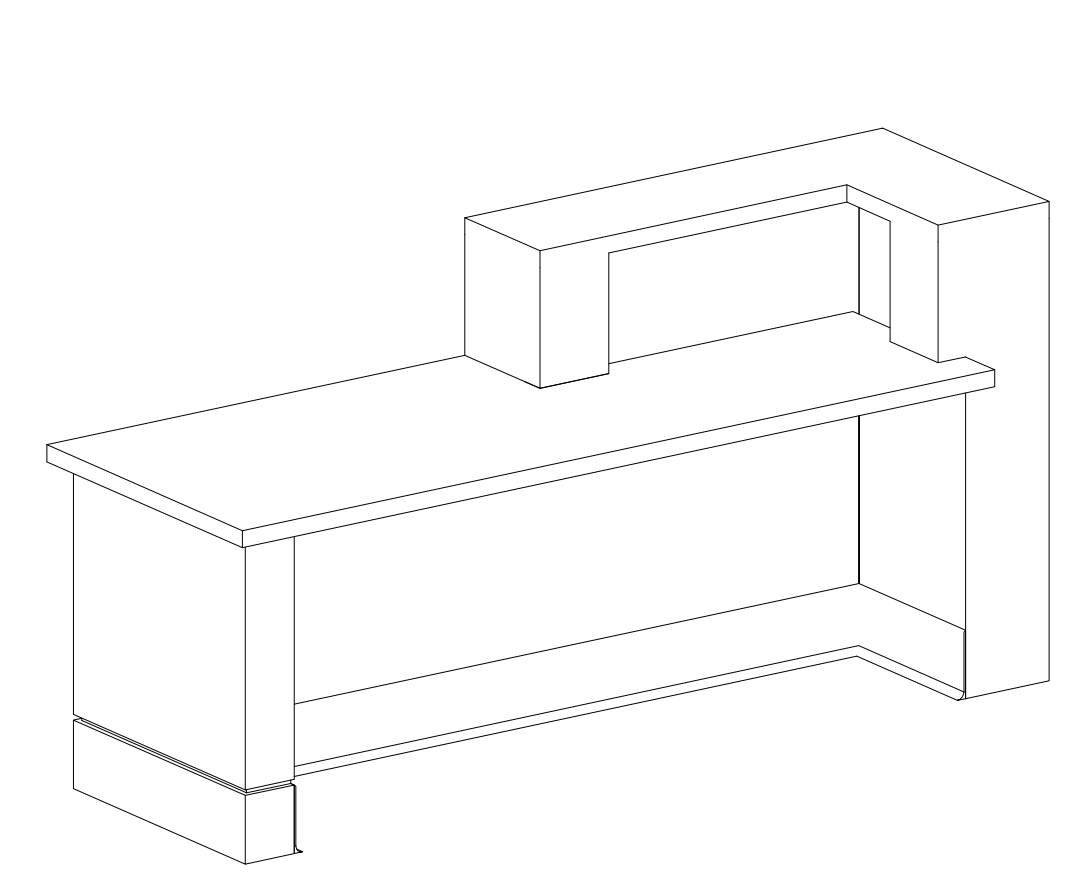
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Job No: 2349  
Sheet Title:

DETAILS - SECURITY DESK

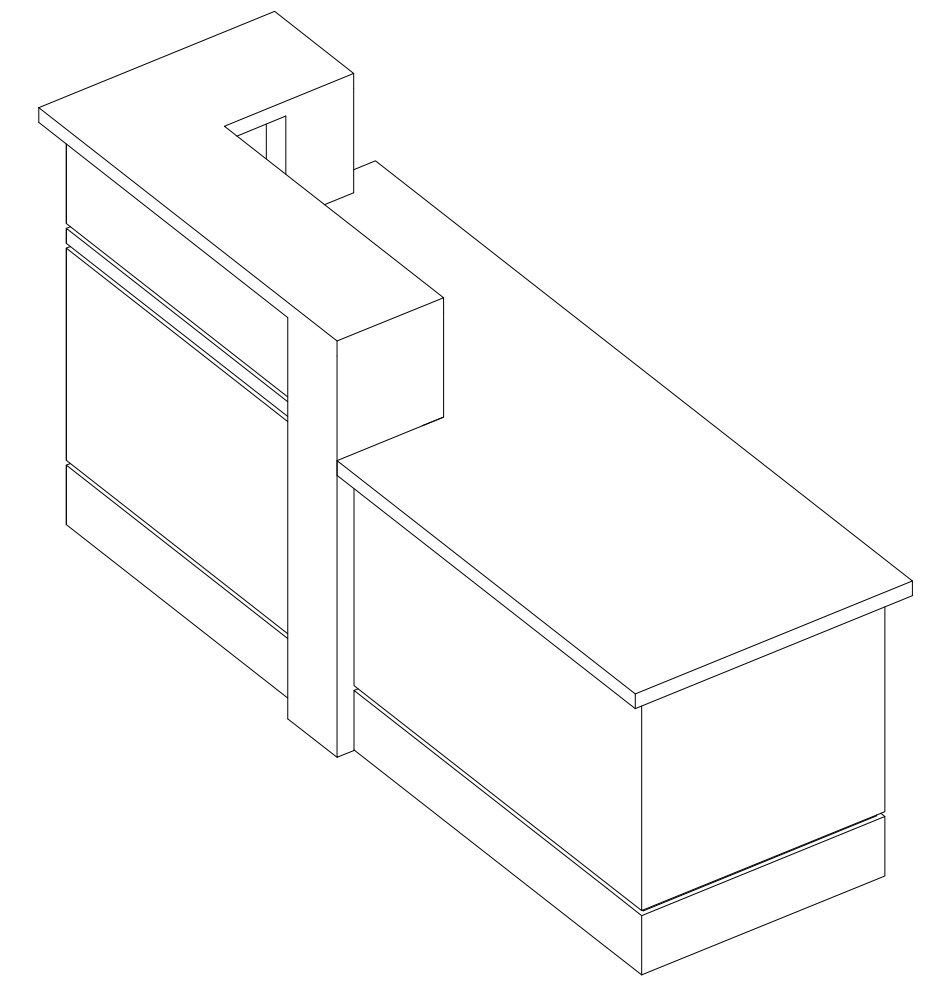
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**A601A**



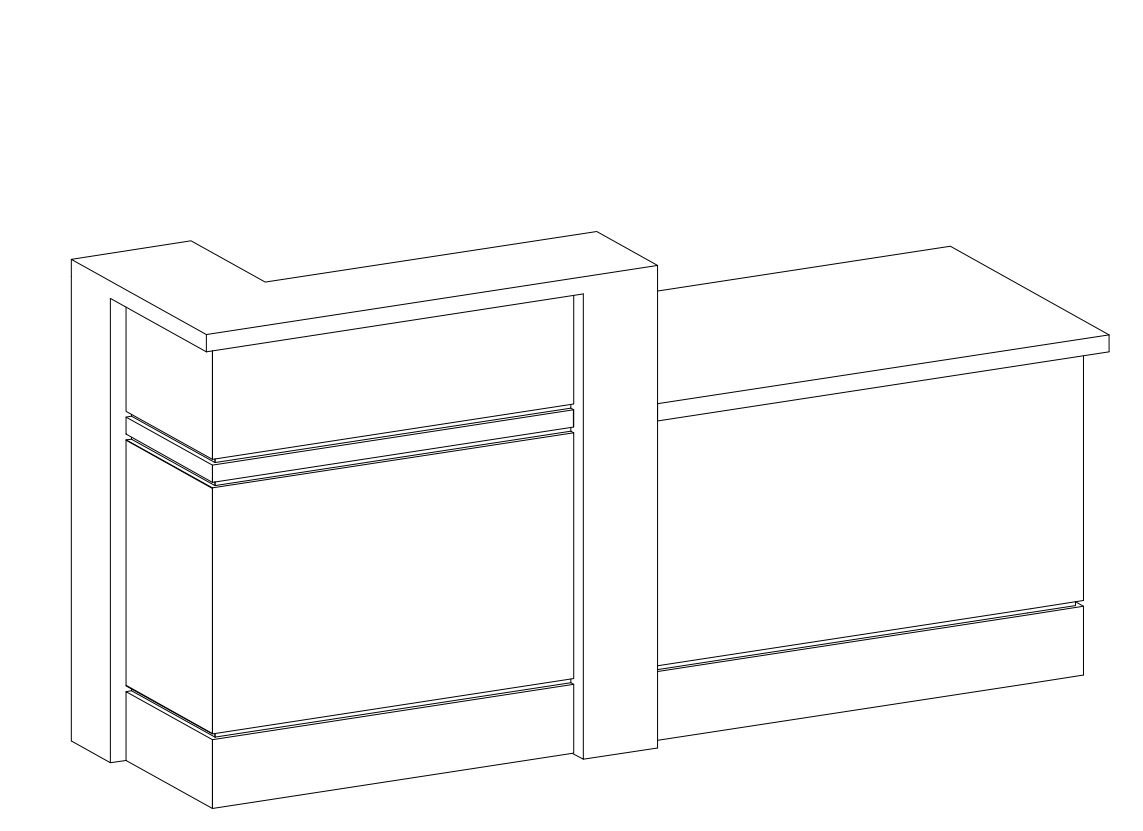
11 3D Back View 2  
A601A SCALE:



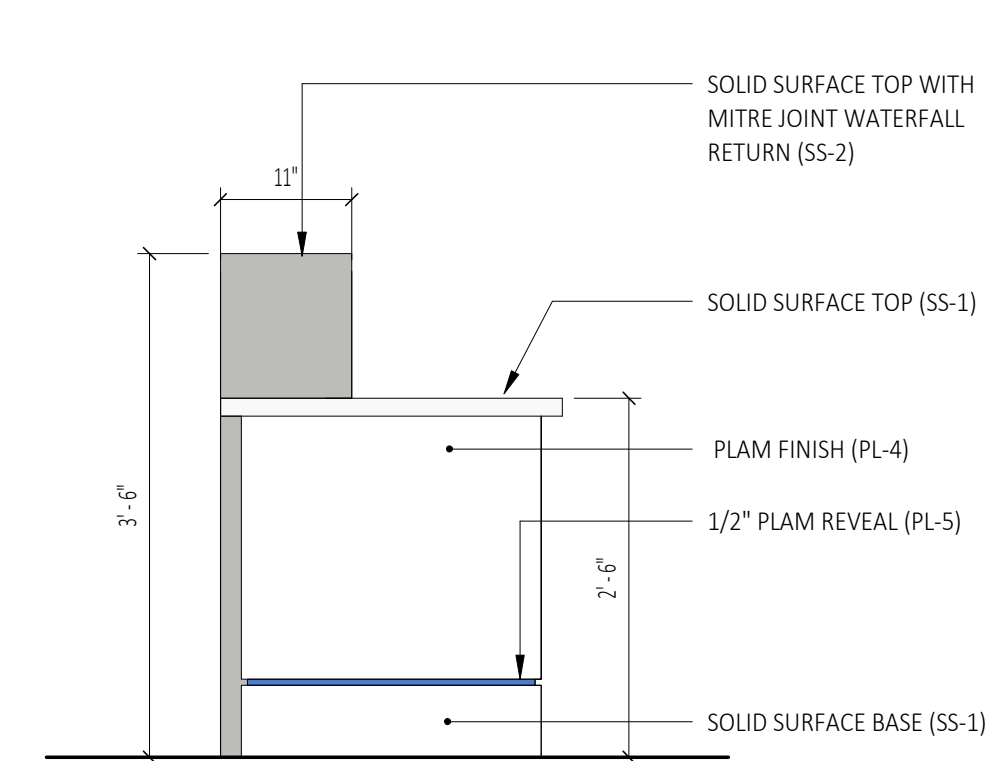
10 3D Back View 1  
A601A SCALE:



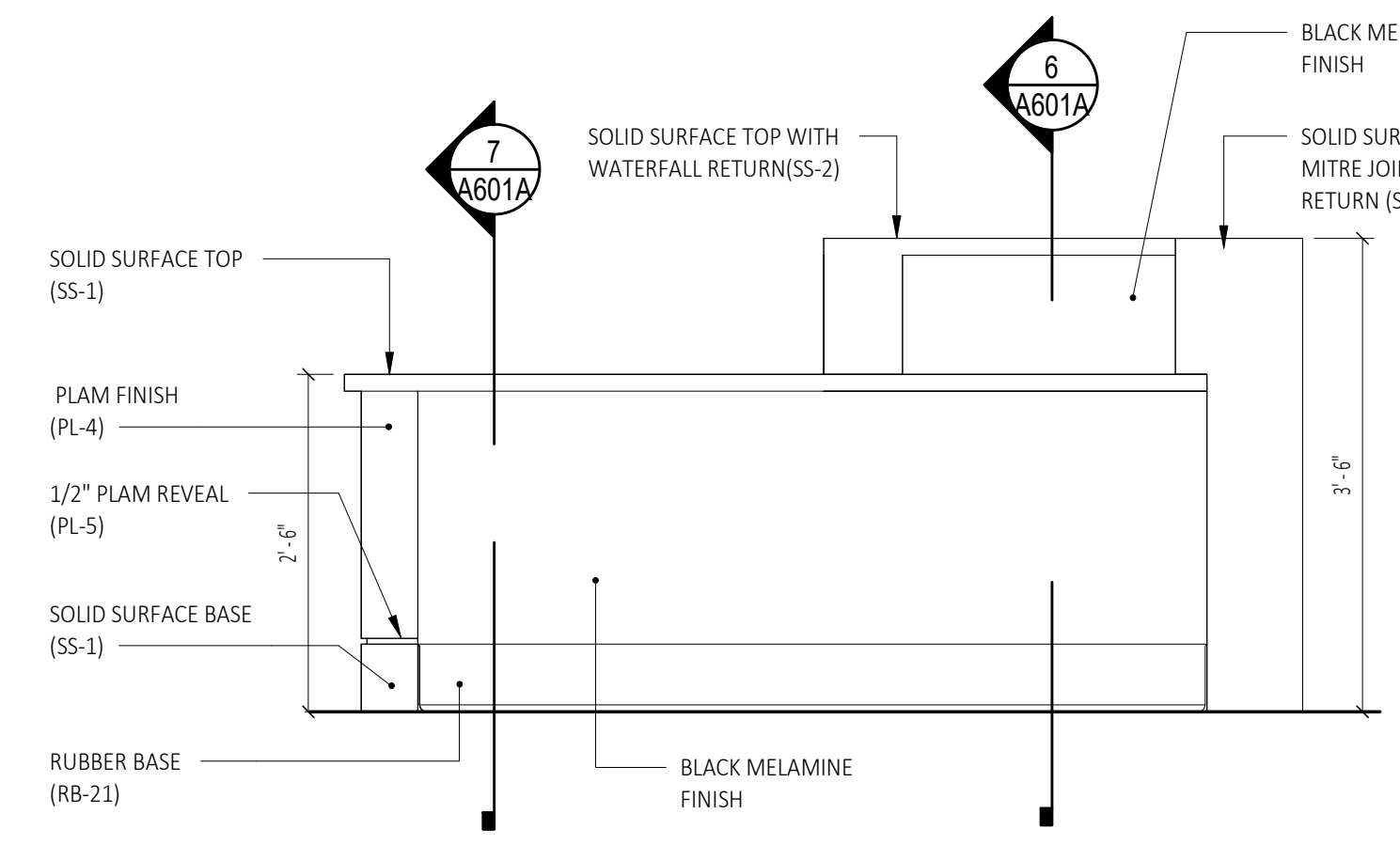
9 3D Front View 2  
A601A SCALE:



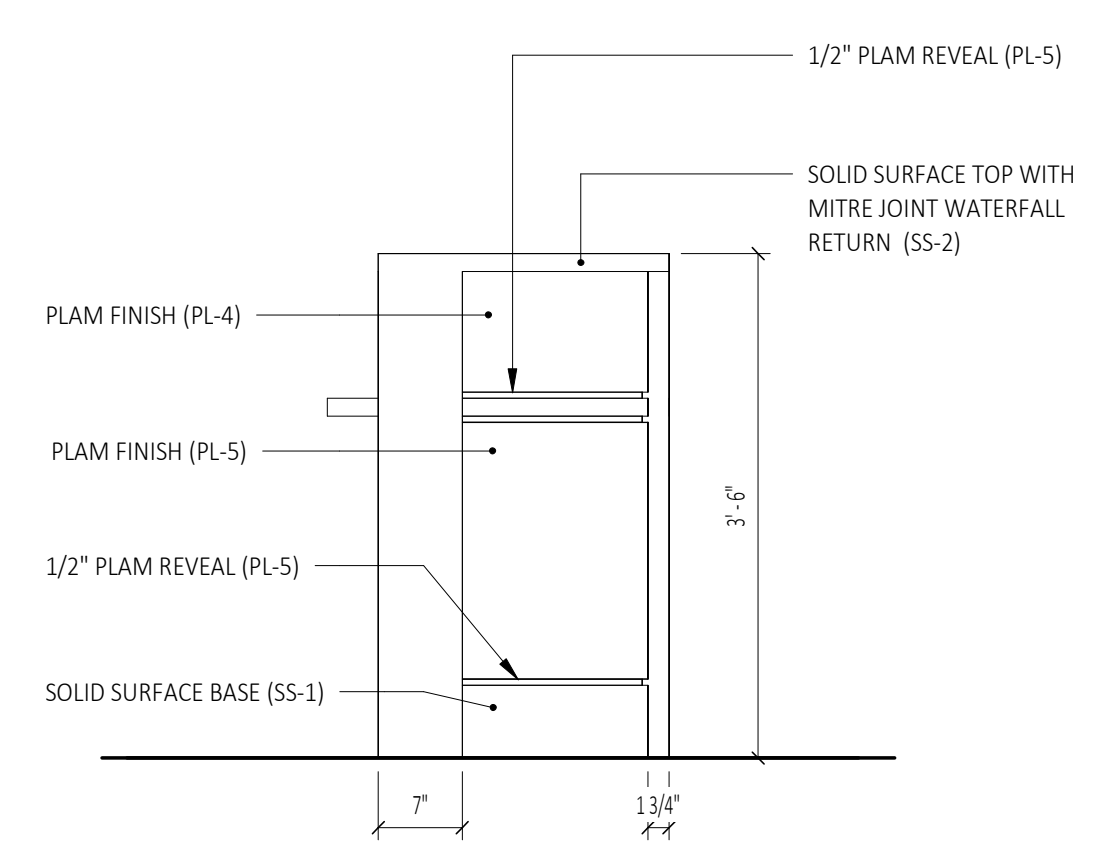
8 3D Front View 1  
A601A SCALE:



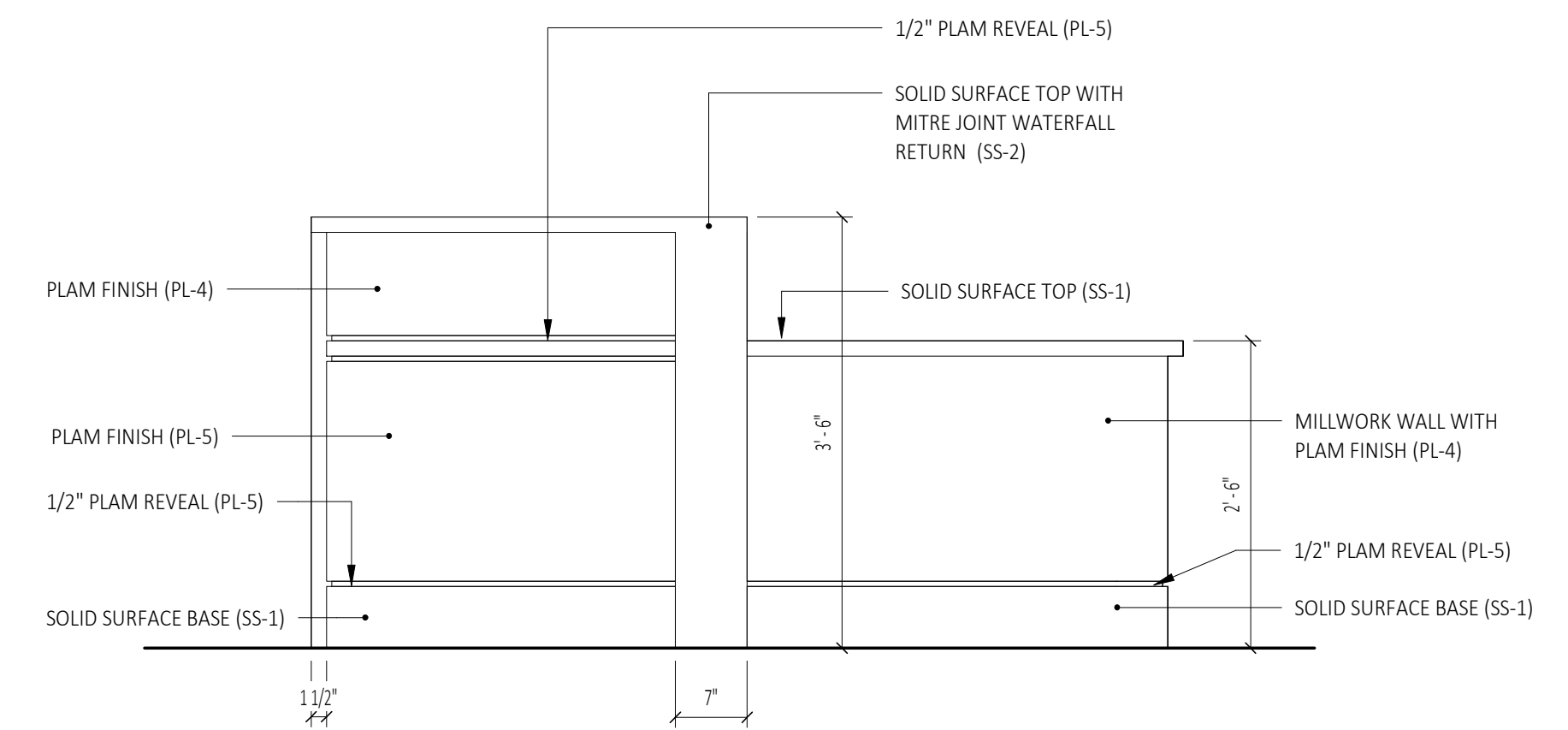
5 Interior Elevation - Security Desk (West)  
A601A SCALE: 3/4" = 1'-0"



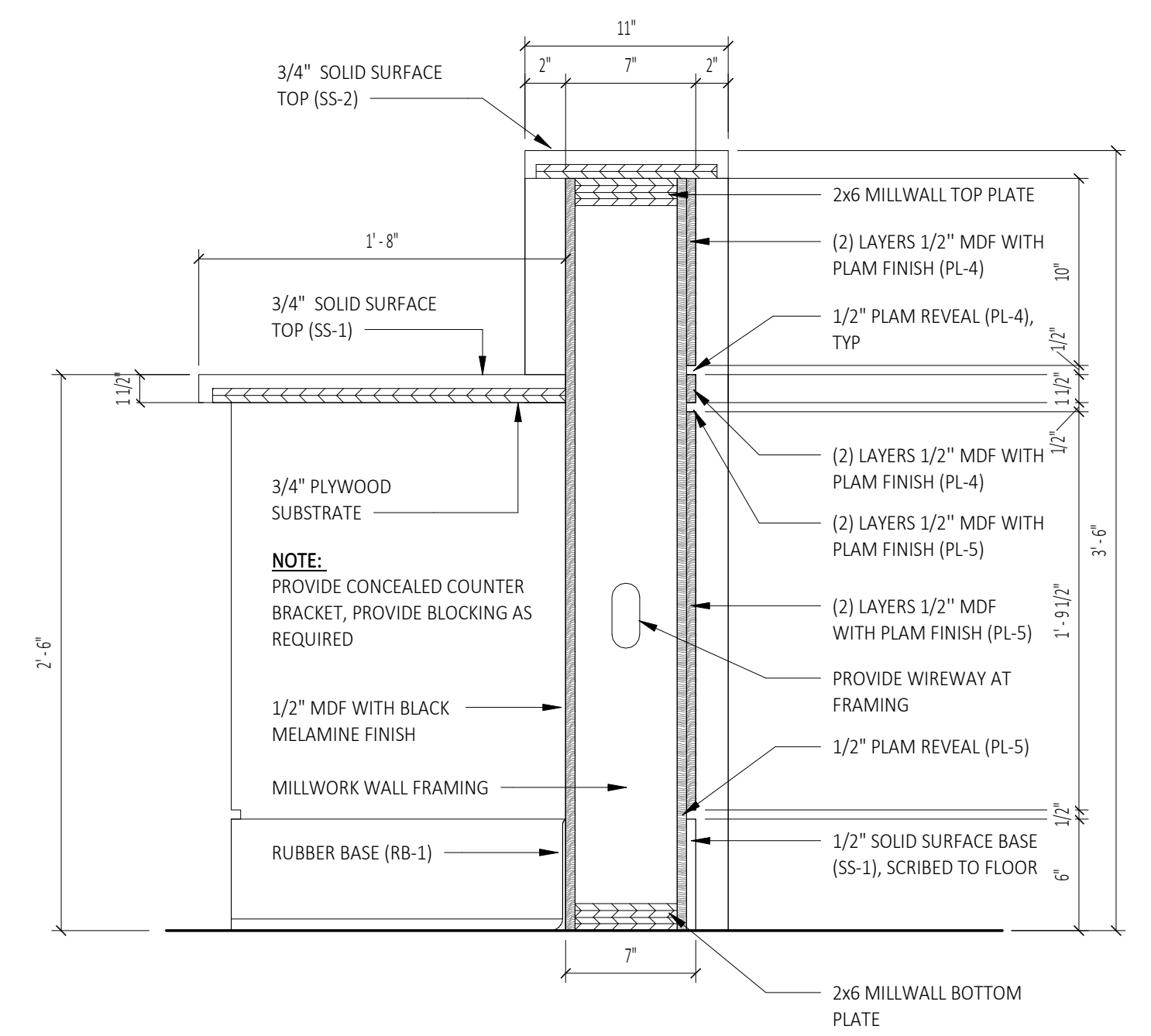
4 Interior Elevation - Security Desk (South)  
A601A SCALE: 3/4" = 1'-0"



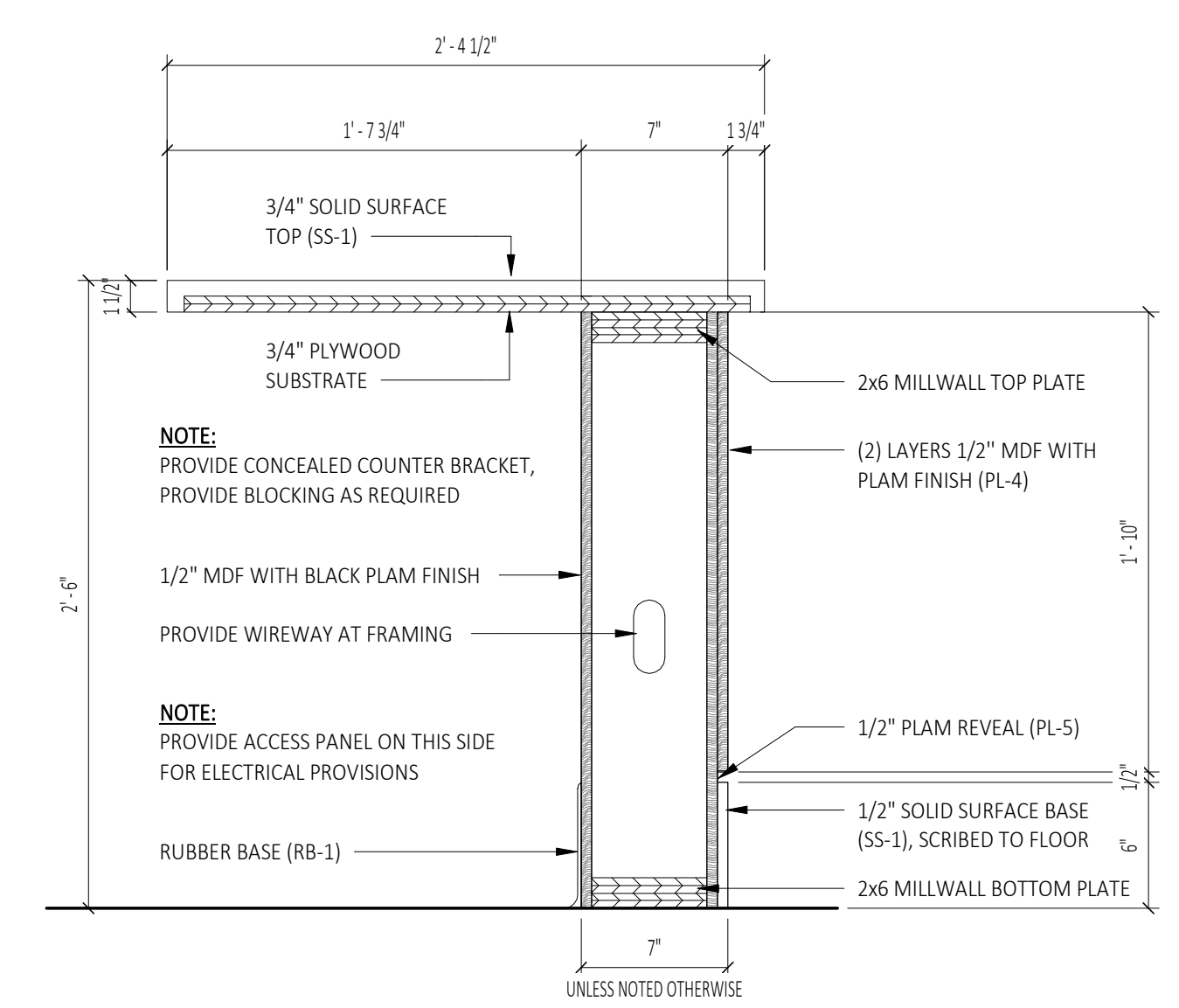
2 Interior Elevation - Security Desk (East)  
A601A SCALE: 3/4" = 1'-0"



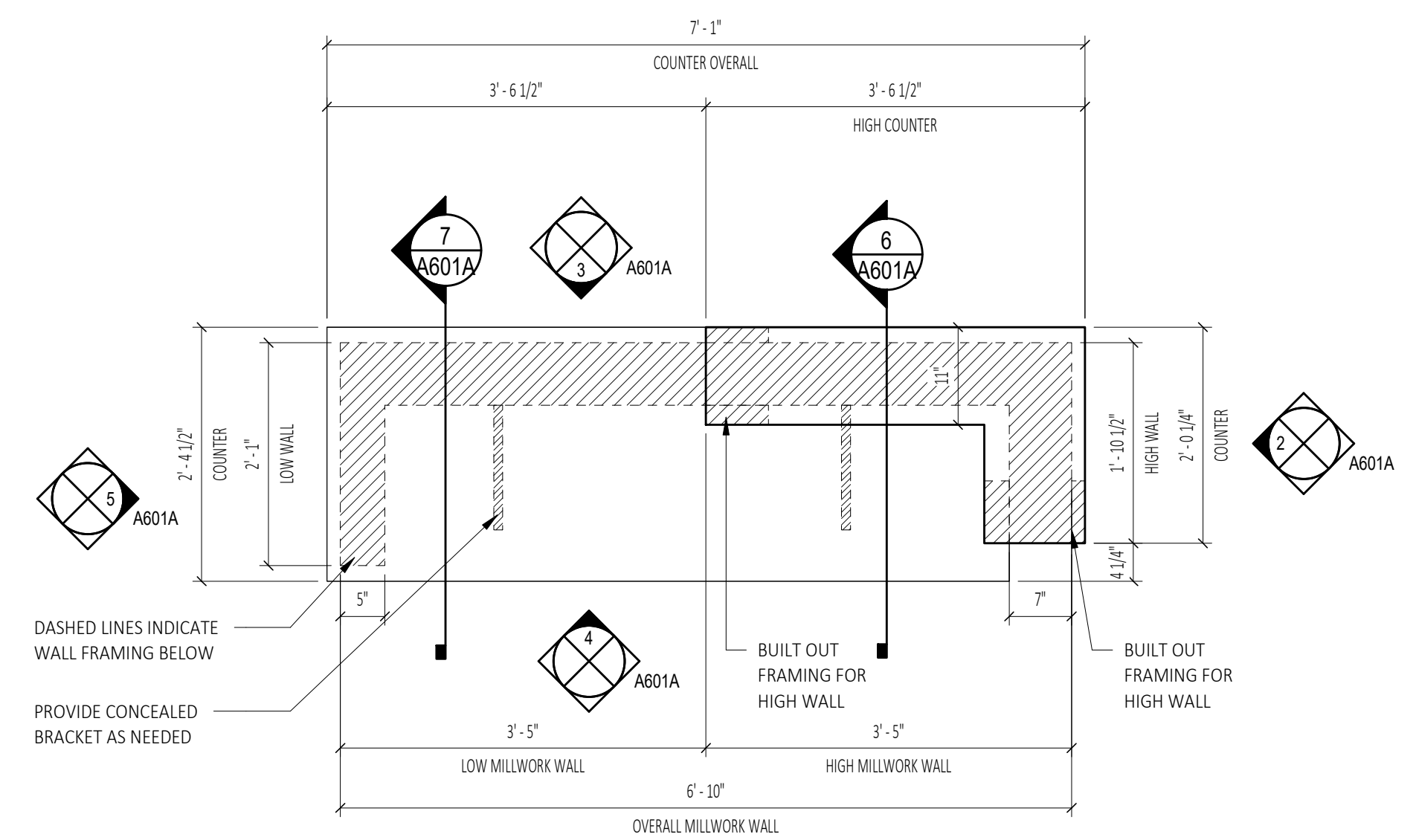
3 Interior Elevation - Security Desk (North)  
A601A SCALE: 3/4" = 1'-0"



6 Section at Security Desk (High Counter)  
A601A SCALE: 1 1/2" = 1'-0"

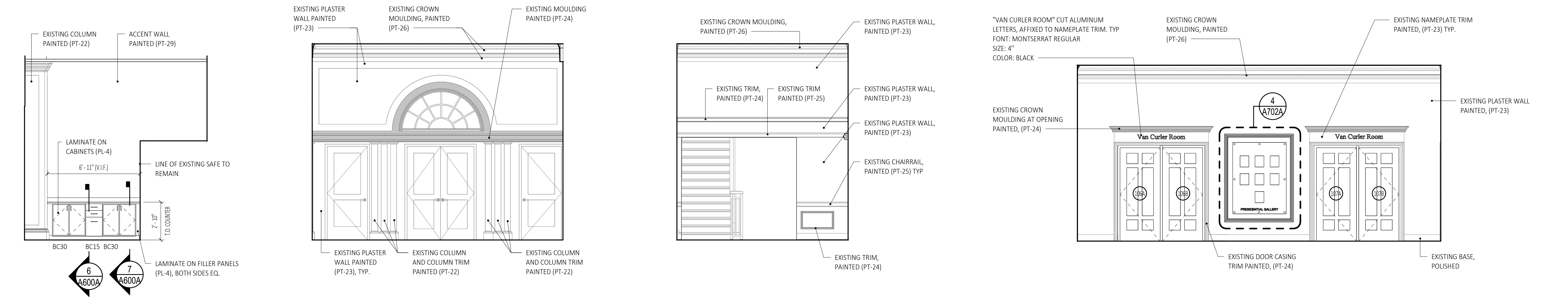


7 Section at Security Desk (Low Counter)  
A601A SCALE: 1 1/2" = 1'-0"



1 Enlarged Plan at Security Desk  
A601A SCALE: 3/4" = 1'-0"



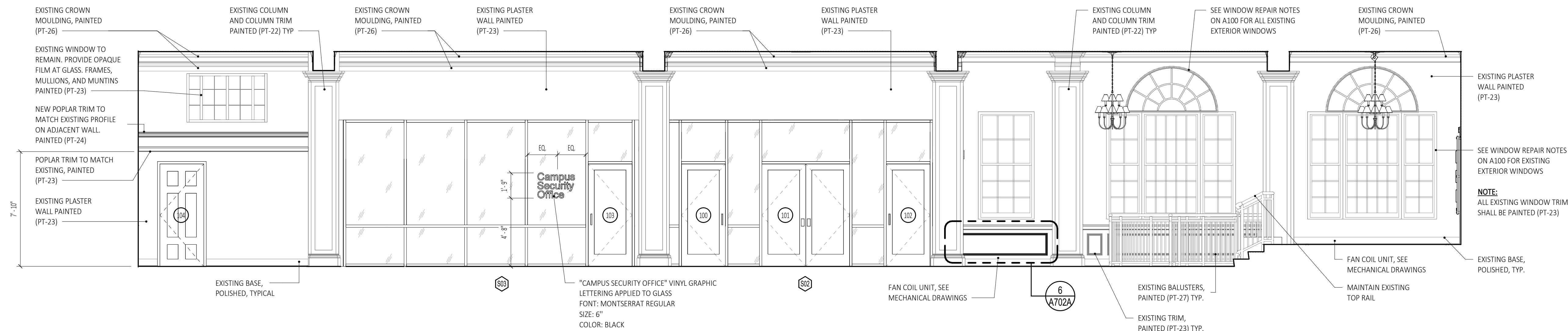


**6 Security - East (Accent Wall)**  
SCALE: 1/4" = 1'-0"

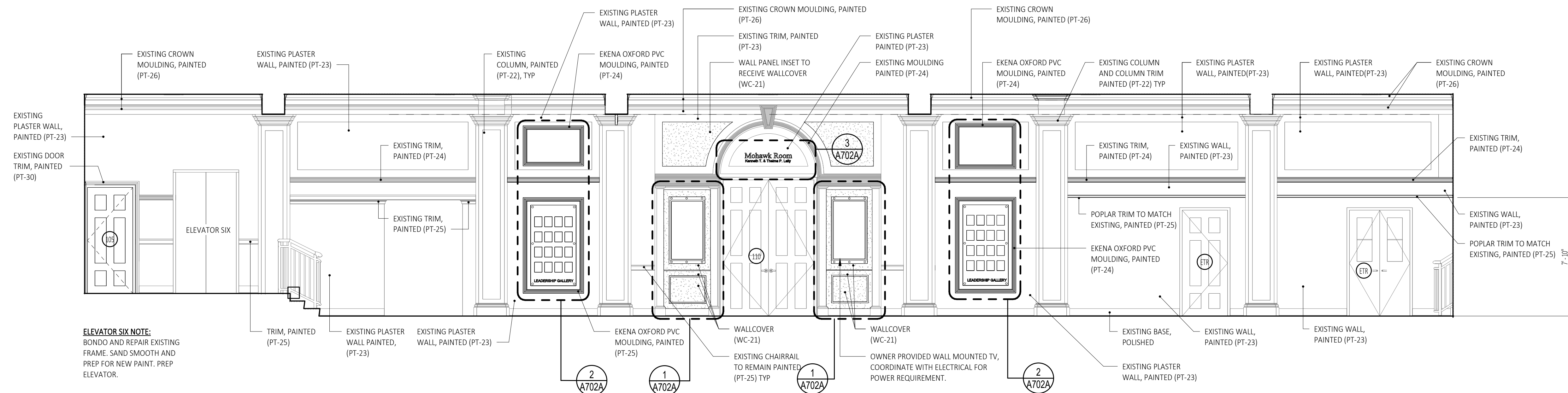
**5 Elston Hall Lobby Vestibule - South**  
SCALE: 1/4" = 1'-0"

**4 Elston Hall Lobby - East**  
SCALE: 1/4" = 1'-0"

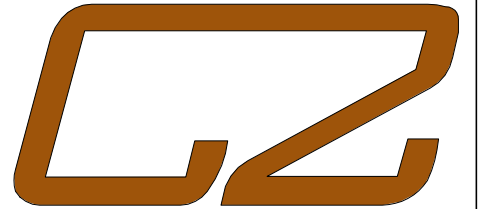
**3 Elston Hall Lobby - West**  
SCALE: 1/4" = 1'-0"



**2 Elston Hall Lobby - South**  
SCALE: 1/4" = 1'-0"



**1 Elston Hall Lobby - North**  
SCALE: 1/4" = 1'-0"



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Stamp:

Project:  
**SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK ROOM  
RENOVATIONS**

78 Washington Ave Schenectady, NY 12305

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Drawn By: C2 Architecture  
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Date: 04/19/2024  
Job No: 2349  
Sheet Title:  
**INTERIOR ELEVATIONS -  
ELSTON HALL LOBBY**  
Sheet Number:  
**A700A**

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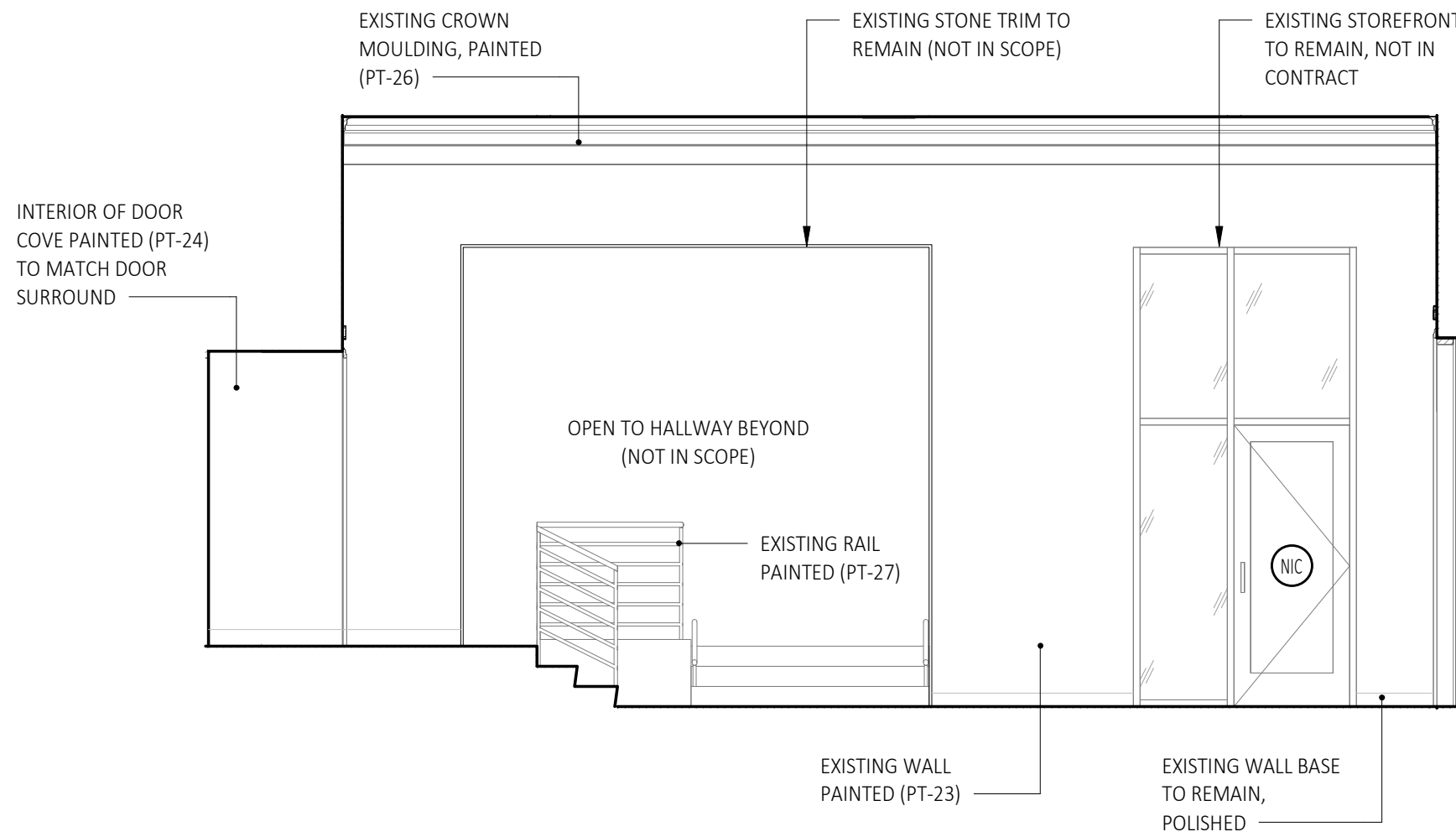
SUNY SCCC ELSTON HALL  
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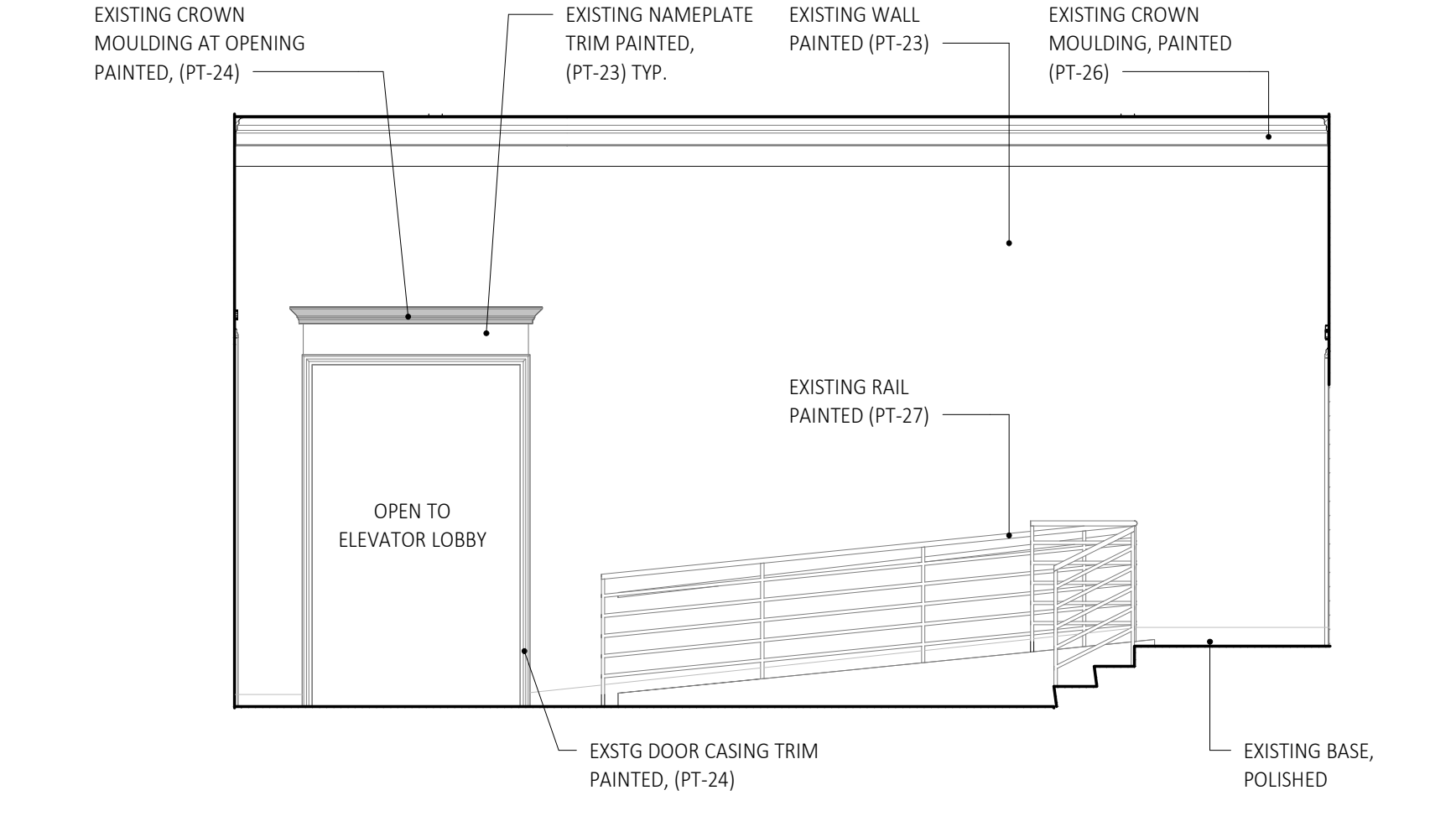
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Date:	04/19/2024
Job No:	2349
Sheet Title:	INTERIOR ELEVATIONS - ELSTON HALL LOBBY
Sheet Number:	A701A

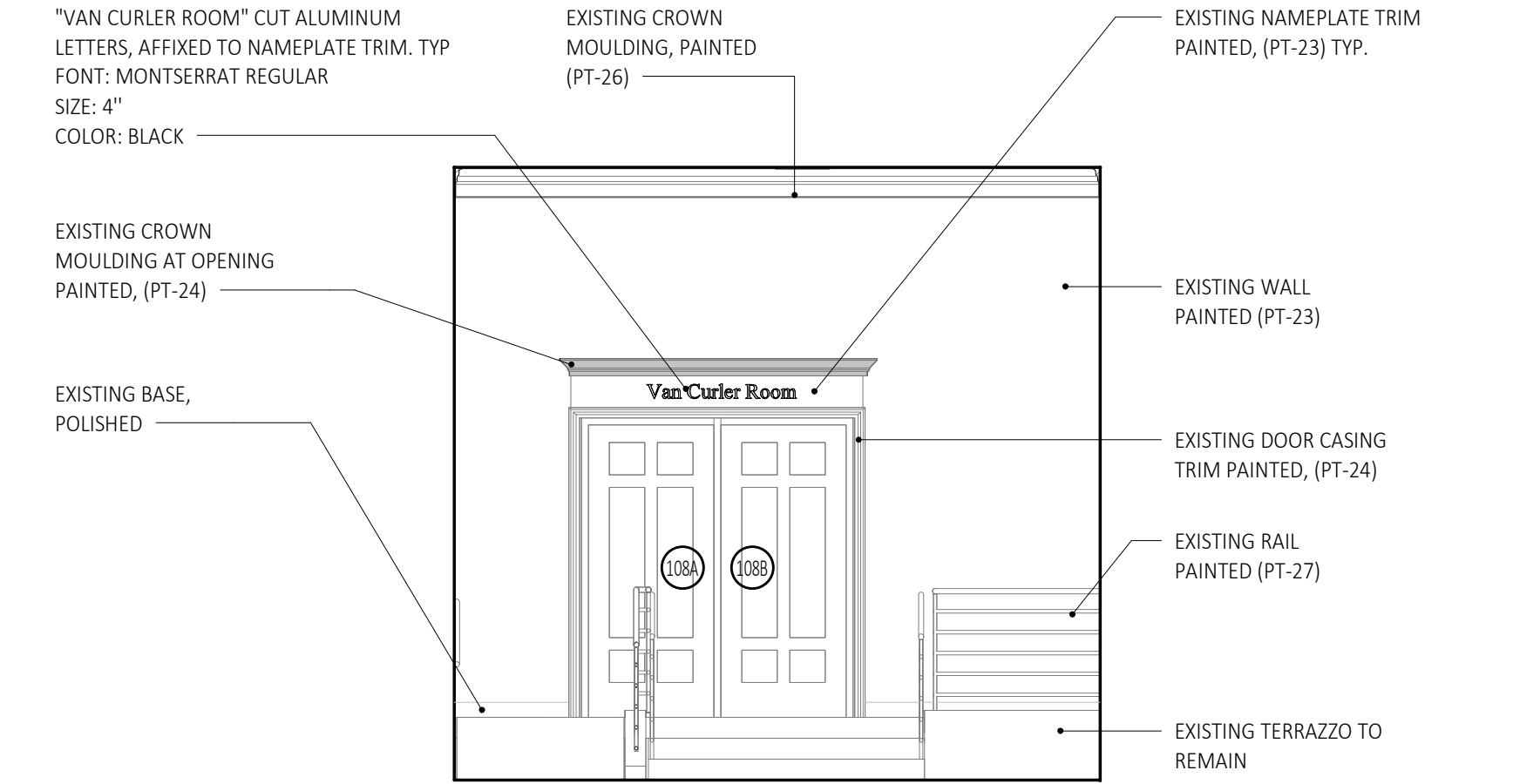
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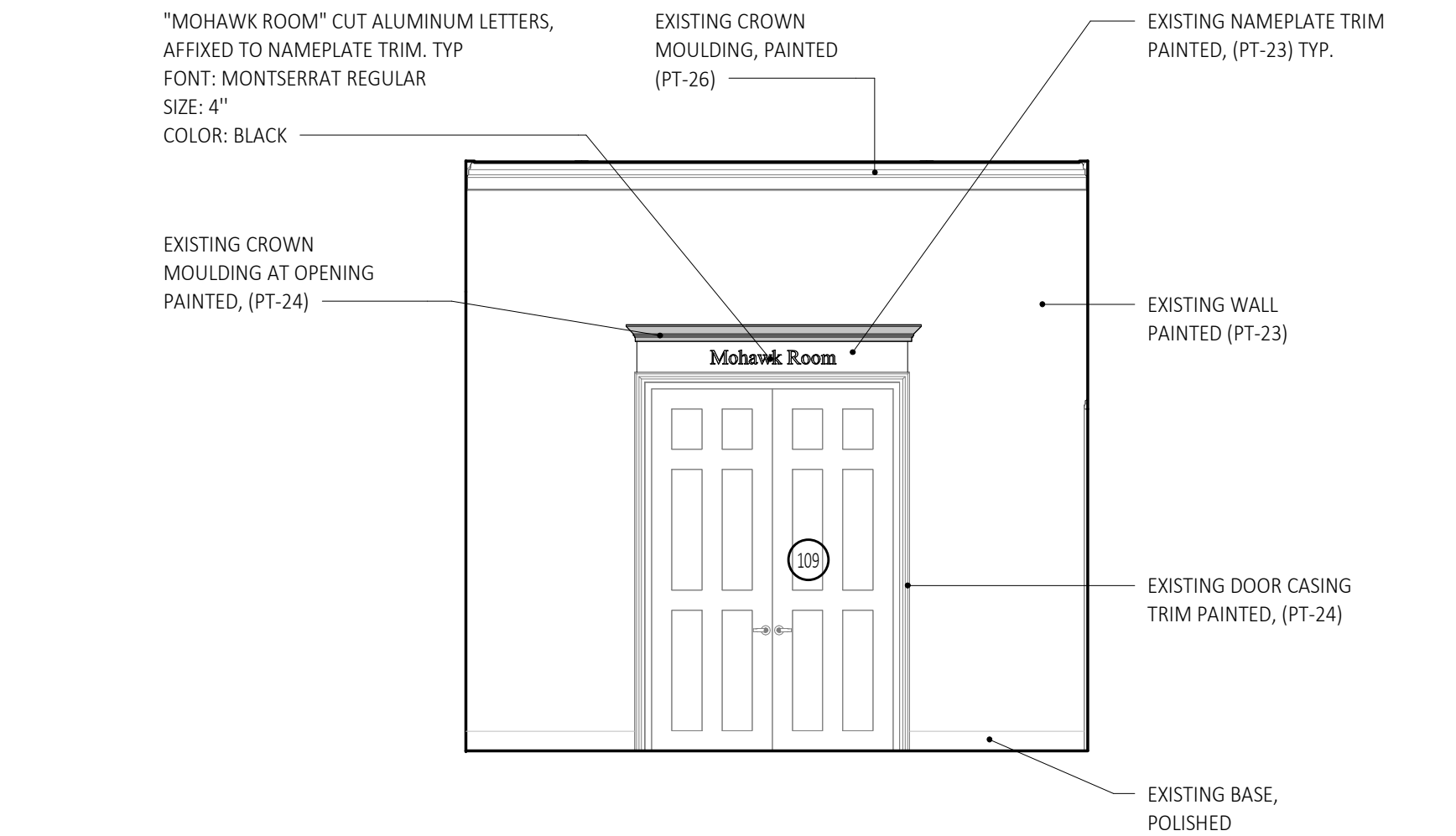
4 Interior Elevation - Van Curler Lobby (North)  
A701A SCALE: 1/4" = 1'-0"



2 Interior Elevation - Van Curler Lobby (South)  
A701A SCALE: 1/4" = 1'-0"



3 Interior Elevation - Van Curler Lobby (West)  
A701A SCALE: 1/4" = 1'-0"



1 Interior Elevation - Van Curler Lobby (East)  
A701A SCALE: 1/4" = 1'-0"



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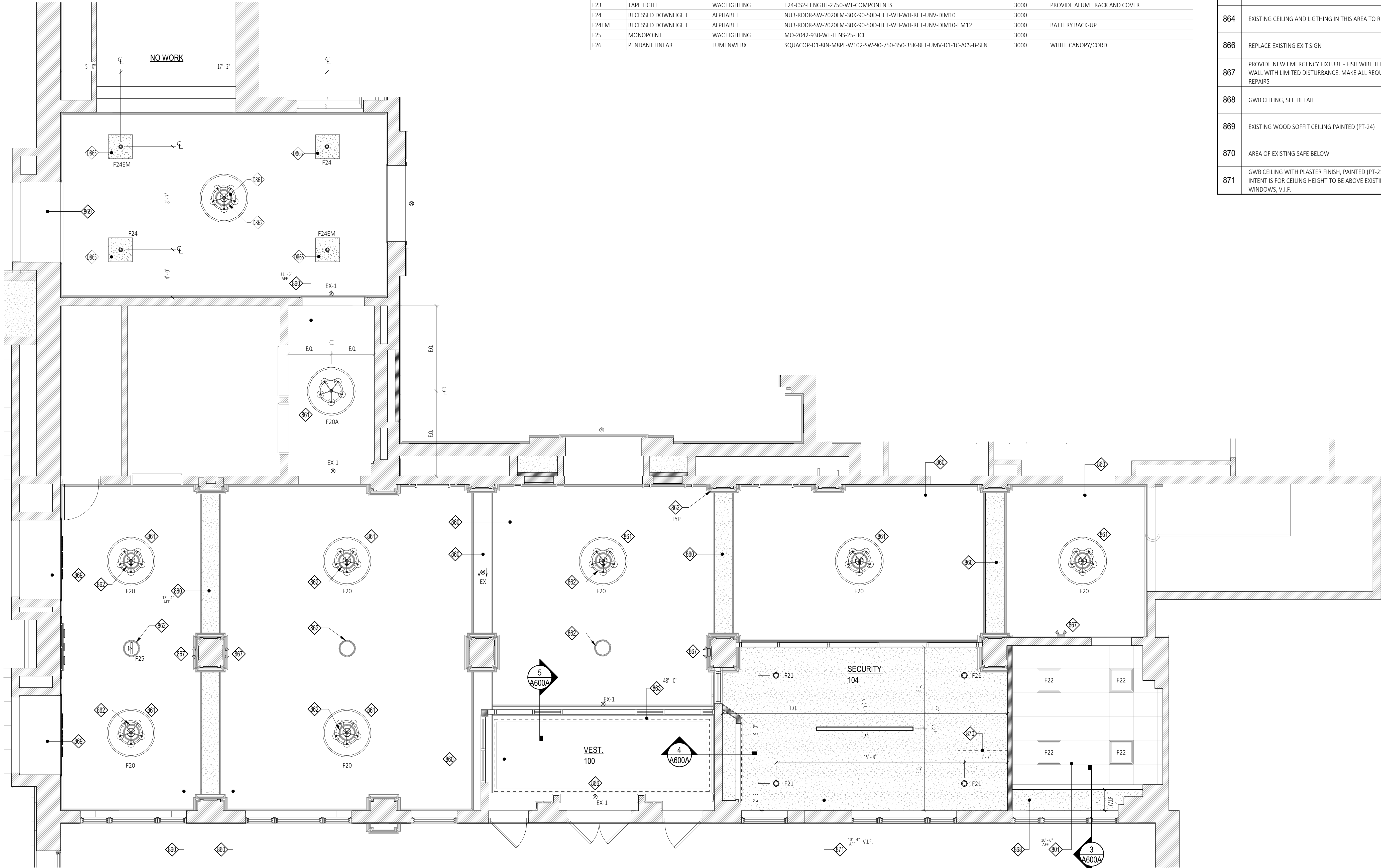
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ELSTON HALL LOBBY LIGHT FIXTURE SCHEDULE					
TYPE	DESCRIPTION	MANUFACTURER	SPECIFICATION	COLOR (K/RGB)	COMMENTS
EM-1	EMERGENCY LIGHT	ACUITY BRANDS		-	
EM-2	EMERGENCY LIGHT	ACUITY BRANDS	LMIGN2-EM-SQ-WH-MR+LMIGN2-ACCY-RBB-CP	-	
EX-1	EXIT SIGN (CEILING)	ACUITY BRANDS	EDGR-W-1-G-EL	-	BATTERY BACK-UP
EX-2	EXIT SIGN (WALL)	ACUITY BRANDS	EDGR-W-1-G-EL-WM	-	BATTERY BACK-UP
F20	CHANDELIER	-		3000	SEE ALLOWANCE
F20A	CHANDELIER	-		-	SEE ALLOWANCE
F21	RECESSED DOWNLIGHT	ACUITY BRANDS	JP024-DB-ALO10-SWW5WD-90CRI-JPD24RDNCMF-MVOLTZT10-WWH	3000	1200 LUMEN
F22	LAY-IN PANEL	ACUITY BRANDS	CPANL-2x2-ALO1-SWW7-M4	3000	4400 LUMEN
F23	TAPE LIGHT	WAC LIGHTING	T24-CS2-LENGTH-2750-WT-COMPONENTS	3000	PROVIDE ALUM TRACK AND COVER
F24	RECESSED DOWNLIGHT	ALPHABET	NU3-RDDR-SW-2020LM-30K-90-50D-HET-WH-WH-RET-UNV-DIM10	3000	
F24EM	RECESSED DOWNLIGHT	ALPHABET	NU3-RDDR-SW-2020LM-30K-90-50D-HET-WH-WH-RET-UNV-DIM10-EM12	3000	BATTERY BACK-UP
F25	MONOPOINT	WAC LIGHTING	MO-2042-930-WT-LENS-25-HCL	3000	
F26	PENDANT LINEAR	LUMENWERX	SQUACOP-D1-8IN-M8PL-W102-SW-90-750-350-8FT-UMV-D1-1C-ACS-B-SLN	3000	WHITE CANOPY/CORD

Ceiling Plan Keynote Legend Lobby	
860	EXISTING PLASTER CEILING, PAINTED (PT-21)
861	NEW LIGHT FIXTURE AT EXISTING POWERED LOCATION IN CEILING
862	EXISTING MEDALLION, PAINTED. SEE INTERIOR ELEVATIONS
863	NEW LED TAPE LIGHT AT EXISTING CROWN MOULDING COVE AT PERIMETER OF VESTIBULE CEILING
864	EXISTING CEILING AND LIGTHING IN THIS AREA TO REMAIN
866	REPLACE EXISTING EXIT SIGN
867	PROVIDE NEW EMERGENCY FIXTURE - FISH WIRE THROUGH WALL WITH LIMITED DISTURBANCE. MAKE ALL REQUIRED REPAIRS
868	GWB CEILING, SEE DETAIL
869	EXISTING WOOD SOFFIT CEILING PAINTED (PT-24)
870	AREA OF EXISTING SAFE BELOW
871	GWB CEILING WITH PLASTER FINISH, PAINTED (PT-21). INTENT IS FOR CEILING HEIGHT TO BE ABOVE EXISTING WINDOWS, V.I.F.





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LOBBY & MOHAWK ROOM  
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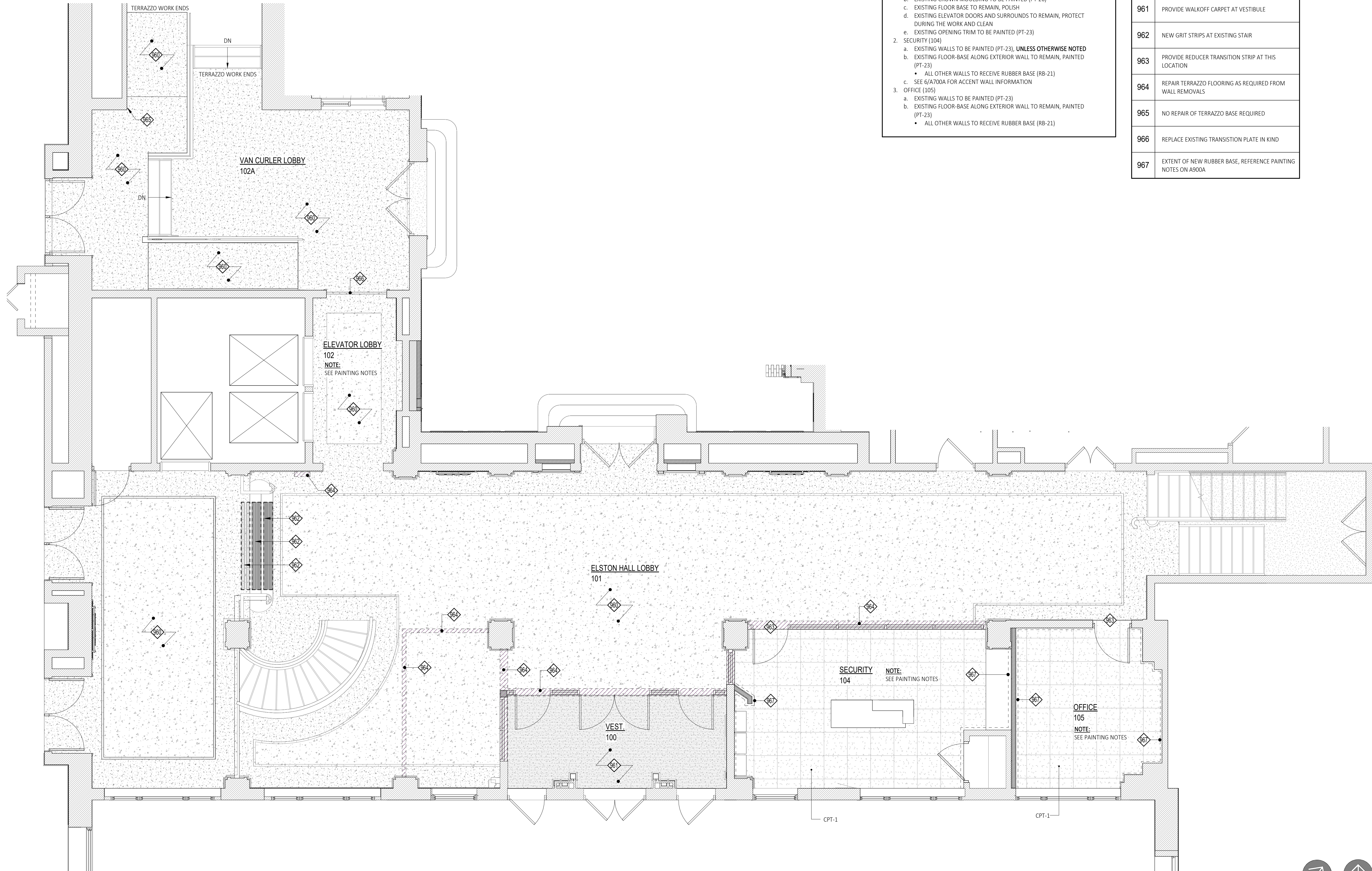
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Job No: 2349  
Sheet Title:  
**ELSTON HALL LOBBY  
FINISH PLAN**  
Sheet Number:

**A900A**

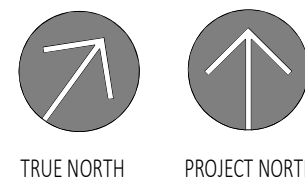
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- PAINTING NOTES**
- ELEVATOR LOBBY (102)
    - EXISTING WALLS TO BE PAINTED (PT-23)
    - EXISTING FLOOR BASE TO REMAIN, POLISH
    - EXISTING ELEVATOR DOORS AND SURROUNDS TO REMAIN, PROTECT DURING THE WORK AND CLEAN
    - EXISTING OPENING TRIM TO BE PAINTED (PT-23)
  - SECURITY (104)
    - EXISTING WALLS TO BE PAINTED (PT-23), **UNLESS OTHERWISE NOTED**
    - EXISTING FLOOR-BASE ALONG EXTERIOR WALL TO REMAIN, PAINTED (PT-23)
      - ALL OTHER WALLS TO RECEIVE RUBBER BASE (RB-21)
    - SEE 6/A700A FOR ACCENT WALL INFORMATION
  - OFFICE (105)
    - EXISTING WALLS TO BE PAINTED (PT-23)
    - EXISTING FLOOR-BASE ALONG EXTERIOR WALL TO REMAIN, PAINTED (PT-23)
      - ALL OTHER WALLS TO RECEIVE RUBBER BASE (RB-21)

Finish Plan Keynote Legend Copy 1	
960	EXISTING TERRAZZO FLOOR TO BE REFINISHED, SEE FINISH NOTES.
961	PROVIDE WALKOFF CARPET AT VESTIBULE
962	NEW GRIT STRIPS AT EXISTING STAIR
963	PROVIDE REDUCER TRANSITION STRIP AT THIS LOCATION
964	REPAIR TERRAZZO FLOORING AS REQUIRED FROM WALL REMOVALS
965	NO REPAIR OF TERRAZZO BASE REQUIRED
966	REPLACE EXISTING TRANSITION PLATE IN KIND
967	EXTENT OF NEW RUBBER BASE, REFERENCE PAINTING NOTES ON A900A



**1**  
**A900A**  
**Elston Hall Lobby Finish Plan**  
SCALE: 1/4" = 1'-0"





Door Schedule - Elston Hall Lobby																
Door No.	Location	DOOR					FRAME					Head	Jamb	Rating	Hardware	Comments
		Width	Height	Thk.	Material	Finish	Type	Glazing	Material	Finish	Type					
100	VEST 100c / ELSTON HALL LOBBY 101c	3' - 0"	7' - 0"	0' - 1 3/4"	AL/GL	ANNOD.	AW	TEMPERED	-	ANNOD.	-	-	-	-	SET 1	
101	VEST 100c / ELSTON HALL LOBBY 101c	6' - 0"	7' - 0"	0' - 1 3/4"	AL/GL	ANNOD.	AW	TEMPERED	-	ANNOD.	-	-	-	-	SET 2	
102	VEST 100c / ELSTON HALL LOBBY 101c	3' - 0"	7' - 0"	0' - 1 3/4"	AL/GL	ANNOD.	AW	TEMPERED	-	ANNOD.	-	-	-	-	SET 1	
103	ELSTON HALL LOBBY 101 / SECURITY 104c	3' - 0"	7' - 0"	0' - 1 3/4"	AL/GL	ANNOD.	AW	TEMPERED	-	ANNOD.	-	-	-	-	SET 1	PROVIDE POWERED LOCK AND CARD ACCESS
104	ELSTON HALL LOBBY 101 / OFFICE 103c	3' - 0"	7' - 0"	0' - 1 3/4"	WD	-	A106	-	HM	PT-30	1	H1	J1	-	SET 3	
105	ELSTON HALL LOBBY 101 / STORAGE	3' - 0"	7' - 0"	0' - 1 3/4"	WD	-	A106	-	ETR	PT-30	-	-	-	-	MATCH EX.	NEW DOOR IN EXISTING FRAME, V.I.F.
105	ELSTON HALL LOBBY 101 / STORAGE	3' - 0"	7' - 0"	0' - 1 3/4"	WD	-	A106	-	ETR	PT-30	-	-	-	-	MATCH EX.	NEW DOOR IN EXISTING FRAME, V.I.F.
106A	ELSTON LOBBY 101C / VAN CURLER 100A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	PT-7	-	-	ETR	PT-6	-	2/A901A	1/A901A	90	SET 4	
106B	ELSTON LOBBY 101C / VAN CURLER 100A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	PT-7	-	-	ETR	PT-6	-	2/A901A	1/A901A	90	SET 4	
107A	ELSTON LOBBY 101C / VAN CURLER 100A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	PT-7	-	-	ETR	PT-6	-	2/A901A	1/A901A	90	SET 4	
107B	ELSTON LOBBY 101C / VAN CURLER 100A	3' - 0"	7' - 0"	0' - 1 3/4"	WD	PT-7	-	-	ETR	PT-6	-	2/A901A	1/A901A	90	SET 4	
108A	VAN CURLER 100A / VAN CURLER LOBBY	3' - 0"	7' - 0"	0' - 1 3/4"	WD	PT-7	-	-	ETR	PT-6	-	2/A901A	1/A901A	90	SET 4	
108B	VAN CURLER 100A / VAN CURLER LOBBY	3' - 0"	7' - 0"	0' - 1 3/4"	WD	PT-7	-	-	ETR	PT-6	-	2/A901A	1/A901A	90	SET 4	
109	MOHAWK ROOM 100b / VAN CURLER LOBBY	6' - 0"	9' - 0"	0' - 1 3/4"	ETR	PT-15	ETR	-	PT-16	-	-	-	-	-		SEE MOHAWK DOOR REPAIR NOTES
110	MOHAWK ROOM 100b / ELSTON HALL LOBBY 100c	6' - 0"	9' - 0"	0' - 1 3/4"	ETR	PT-15	ETR	-	PT-16	-	-	-	-	-		SEE MOHAWK DOOR REPAIR NOTES

Door Hardware Sets									
<b>SET 1:</b>					<b>SET 2:</b>				
• 1 EA	Intermediate Pivot	7226FINT	630	IVE	• 2 EA	Intermediate Pivot	7226FINT	630	IVE
• 1 EA	Pivot Set	7226F SET	630	IVE	• 2 EA	Pivot Set	7226F SET	630	IVE
• 1 EA	Push/Pull Bar	9190-0	630	IVE	• 2 EA	Push/Pull Bar	9190-0	630	IVE
• 1 EA	Overhead Stop	100S	630	GLY	• 2 EA	Overhead Stop	100S	630	GLY
• 1EA	CLOSER	TDC-40	TST		• 1EA	CLOSER	TDC-40	TST	
• 1 Seat	Seak	Alum Supply			• 1 Seat	Seak	Alum Supply		
<b>SET 3:</b>					<b>SET 4:</b>				
• 3 EA	Hinge	5B81	PBB	IVE	• 3 EA	Hinge	5B81	PBB	IVE
• 1 EA	Entrance	ND53 RHO	626	SCH	• 1 EA	Entrance	ND53 RHO	626	SCH
• 1EA	CLOSER	TDC-40	TST		• 1EA	CLOSER	TDC-40	TST	
• 1 EA	Stop	WA407	32D	IVE	• 1 EA	Stop	WA407	32D	IVE
• 3 EA	Silencer	SR64	BLK	IVE	• 3 EA	Silencer	SR64	BLK	IVE

General Finish Notes	
<div>1. INTERIOR WALL AND CEILING FINISHES IN INTERIOR EXIT STAIRWAYS, EXIT PASSAGEWAYS, CORRIDORS, AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS SHALL BE CLASS A (0-25 FLAME SPREAD INDEX; 0-450 SMOKE-DEVELOPMENT INDEX) OR BETTER, WHEN TESTED IN ACCORDANCE WITH ASTM E84-2007 OR UL 723-2003</div> <div>2. INTERIOR WALL AND CEILING FINISHES IN SPACES OTHER THAN THOSE NOTED ABOVE SHALL BE CLASS B (25-75 FLAME SPREAD INDEX; 0-450 SMOKE DEVELOPMENT INDEX) OR BETTER, WHEN TESTED IN ACCORDANCE WITH ASTM E84-2007 OR UL 723-2003</div> <div>3. FLOOR FINISHES SHALL COMPLY WITH THE DOC FF-1 "PILL TEST" CPSC 160CFR PART 1630-2000</div> <div>4. GC TO PROVIDE SIGNAGE AS OUTLINED IN THE SPECIFICATIONS ALONG WITH ANY ADDITIONAL REQUIRED SIGNAGE REQUIRED BY THE AUTHORITY HAVING JURISDICTION.</div> <div>5. TERRAZZO REPAIR/CLEANING/POLISHING:<div>A. TERRAZZO CONTRACTOR SHALL VISIT SITE AND INSPECT ALL TERRAZZO AREAS PRIOR TO BID. TERRAZZO CONTRACTOR SHALL INCLUDE IN THEIR BID, ALL PREPARATION, PATCHING AND REPAIR AS NEEDED TO COMPLETE THE DESIGN INTENT - REGARDLESS IF INDICATED ON THE DRAWINGS - FOR THE SCOPE OF WORK.</div><div>B. AREAS OF TERRAZZO REPAIR SHALL BE PREPARED AS FOLLOWS:<div>a. CLEAN AND STRIP EXISTING TERRAZZO AREAS.<div>1. USE PIONEER ECLIPSI FORMULA X (OR APPROVED EQUAL)</div><div>b. GRIND FLOOR<div>1. 1ST PASS GRIND (150 GRIT METAL BONDED DIAMOND PAD)</div><div>2. 2ND PASS GRIND (100 GRIT CERAMIC PAD)</div><div>3. 3RD PASS GRIND (200 GRIT CERAMIC PAD)</div><div>4. 4TH PASS GRIND (400 GRIT CERAMIC PAD)</div><div>5. 5TH PASS GRIND (800 GRIT CERAMIC PAD)</div><div>c. SEAL FLOOR.<div>1. USE DIVERSEY PLAZA PLUS (OR APPROVED EQUAL)</div></div></div></div></div><div>6. WOOD FLOOR NOTES:<div>A. EXISTING WOOD FLOOR IN THE VAN CURLER ROOM SHALL BE PREPARED AND REFINISHED PER SPECIFICATIONS.</div></div><div>7. WINDOW SHADES:<div>A. WINDOW SHADES SHALL BE "WINDOWS, SHADES AND MORE" SCHENECTADY, NY (OR APPROVED EQUAL).</div><div>B. SHADE SYSTEMS SHALL INCLUDE ALL REQUIRED COMPONENTS FOR MANUAL OPERATION, INCLUDING LIFT ASSIST MECHANISM BASED ON OPENING SIZE. SHADE SYSTEMS SHALL BE COMPLETE WITH INTEGRAL FASCIAS.</div><div>C. WINDOW SHADES SHALL BE PROVIDED AT WINDOWS AS FOLLOWS:<div>a. ELSTON HALL AND SECURITY OFFICES:<div>1. PROVIDE (1) SHADE PER WINDOW<div>1. LIGHT FILTERING (3%), COLOR TO BE SELECTED (OFF-WHITE)</div><div>2. PROVIDE TRANSLUCENT VINYL FILM FOR HALFMOON TRANSOM WINDOW ABOVE</div></div></div></div></div><div>8. WINDOW TREATMENTS:<div>A. SEE ALLOWANCES FOR WINDOW TREATMENTS. WINDOW TREATMENTS SHALL BE PROVIDED</div></div><div>9. PICTURE RAIL ART SUSPENSION SYSTEM:<div>a. MOHAWK ROOM<div>1. PROVIDE SYSTEMATIC ART - CLICK ART DECO MODEL</div><div>2. PROVIDE SUSPENSION COMPONENTS FOR (16) SIXTEEN TOTAL PIECES OF ARTWORK<div>A. SUSPENSION COMPONENTS SHALL INCLUDE ALL ITEMS REQUIRED TO SUSPEND THE ARTWORK INCLUDING BUT NOT LIMITED TO HOOKS/RODS, CABLES, HARDWARE CONNECTION TO FRAME</div><div>B. SUSPENSION CABLES SHALL BE COBRA CABLES.</div></div></div></div></div>	

Mohawk Room Door Repair Notes:	
<div>1. MAINTAIN EXISTING DOOR HARDWARE. EXISTING DOOR HARDWARE SHALL BE REFURBISHED TO LIKE NEW CONDITION.<div>A) HINGE PINS SHALL BE REMOVED, CLEANED AND LUBRICATED TO ALLOW SMOOTH AND NOISE FREE OPERATION</div><div>B) KNOBS AND LEVERS SHALL BE RESTORED AND REFINISHED INCLUDING ANY ASSOCIATED PUSH PLATES.</div><div>C) DEADBOLTS SHALL BE REMOVED AND REPLACED WITH COVER TO MATCH POOR PAINT.</div></div> <div>2. DOORS SHALL BE SANDED SMOOTH AND DEBRIS REMOVED.</div> <div>3. WHERE DINGS/DENTS OCCUR ON THE DOOR AND OTHER AREAS OF REPAIR/RESTORATION - DOORS SHALL BE FILLED/MOLDED WITH EPOXY FILLER PUTTY (OR APPROVED EQUAL) AND SANDED TO RESTORE THE ORIGINAL PROFILE.</div> <div>4. PREP DOORS AS REQUIRED FOR NEW PAINT.</div>	

Storefront Types	

Elston Hall Lobby Finish Legend					
Finish No.	Manufacturer	Series   Style   Color	Size	Location	Comments
ACOUSTICAL CEILING TILE					
ACT-21	USG	MARS HIGH-NRC PANELS   FLB   86347 WHITE	24" X 24"	UTILITY, SECURITY, OFFICE CEILING	
ACT-GRD	USG	FINELINE   DXF	-	UTILITY, SECURITY, OFFICE CEILING	
CARPET					
CPT-21	SHAW CONTRACT	INTENT   08530 SKYLIGHT	24" X 24"	UTILITY, SECURITY, OFFICE	MONOLITHIC INSTALLATION
ENTRANCE FLOORING					
EF-21	MILLIKEN	OBEX TILE   CUTX-FIZZ   FZX118-119 DARK GREY	19.69" X 19.69"	VESTIBULE	
PAINT					
PT-21	SHERWIN WILLIAMS	SW 7558 MEDICI IVORY	-	CEILING	FLAT FINISH
PT-22	SHERWIN WILLIAMS	SW 7569 STUCCO	-	COLUMNS	SEMI-GLOSS FINISH
PT-23	SHERWIN WILLIAMS	SW 9180 AGED WHITE	-	FIELD	EGGSHELL FINISH
PT-24	SHERWIN WILLIAMS	SW 7039 VIRTUAL TAUPE	-	TRIMS (DARK)	SEMI-GLOSS FINISH
PT-25	SHERWIN WILLIAMS	SW 9180 AGED WHITE	-	TRIMS (LIGHT)	SEMI-GLOSS FINISH
PT-26	SHERWIN WILLIAMS	SW 7558 MEDICI IVORY	-	CROWN MOLDING	SEMI-GLOSS FINISH
PT-27	SHERWIN WILLIAMS	SW 6990 CAVIAR	-	BALUSTERS	SEMI-GLOSS FINISH
PT-28	SHERWIN WILLIAMS	SW 6804 DIGNITY BLUE	-	SECURITY (ACCENT WALL)	EGGSHELL FINISH
PT-29	SHERWIN WILLIAMS	SW 7558 MEDICI IVORY	-	DOORS	SEMI-GLOSS FINISH
PT-30	SHERWIN WILLIAMS	SW 7558 MEDICI IVORY	-	DOOR FRAMES	SEMI-GLOSS FINISH
PLASTIC LAMINATE					
PL-4	WILSONART	SOLICOR   MATTE FINISH   LINEN D427-60	-		
PL-5	NEVAMAR	THRUCOLOR   REGIMENTAL BLUE  S3016T	-		
RUBBER BASE					
RB-21	ROPPE	CONTOURS PROFILE WALL BASE  FASHION #85 PV6085   100 BLACK	6 1/4" HIGH	SECURITY, OFFICE	
SOLID SURFACE					
SS-1	WILSONART	DESIGNER WHITE D354SL	3/4" (UNO)	AS SPECIFIED	
SS-2	WILSONART	GREY BEOLA   9218CM	3/4" (UNO)	AS SPECIFIED	
WALLCOVERING					
WC-21	SURFACE MATERIALS	DE NOVO   CANYON LINEN   DN2-CNL-16 VERMILLION CLIFFS	-	SEE ELEVATION	

Door Types	

Jamb and Head Details	

--	--

Frame Types	

Storefront Specifications	
<p><b><u>STOREFRONT SYSTEM NOTES:</u></b></p> <p>1. VERIFY ALL OPENINGS IN THE FIELD</p> <p>2. <b><u>INTERIOR STOREFRONT:</u></b></p> <p>A. FRAME SYSTEM TO BE 4 1/2" ALUMINUM</p> <p>B. 1" TEMPERED,</p> <p>C. FRAME COLOR TO BE ANODIZED BLACK</p>	

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24 AIRPORT ROAD  
SCHENECTADY, NY 12302  
518.320.8250

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Project:
SUNY SCCC ELSTON HALL LOBBY & MOHAWK ROOM RENOVATIONS
78 Washington Ave Schenectady, NY 12305

BID   RFB-2024-20
No. REVISION # DATE:

Drawn By:	C2 Architecture
Scale:	As Noted
Date:	04/19/2024
Job No:	2349
Sheet Title:	SCHEDULES-ELSTON HALL LOBBY
Sheet Number:	A901A



REMOVE EXISTING EXIT SIGN IN ITS ENTIRETY. COORDINATE WITH THE WORK.

REMOVE EXISTING ART SUSPENSION TRIM IN ITS ENTIRETY. G.C. TO PATCH AND REPAIR DAMAGE TO EXISTING WALL.

EXISTING CONDUIT TO BE REMOVED. PRESERVE POWER FEED FOR RE-USE WITH NEW EXIT SIGN.

SALVAGE SIGNAGE TO OWNER

EXISTING CHAIR RAIL AND MOULDING TO REMAIN UNLESS OTHERWISE NOTED. G.C. TO REPAIR AND PATCH DAMAGE TO EXISTING CHAIR RAIL AND MOULDING SYSTEM.

EXISTING CHAIRRAIL AND MOULDING TO REMAIN UNLESS OTHERWISE NOTES, G.C. TO INSPECT, PATCH AND REPAIR ALL DAMAGED TRIMS. SEE PLAN NOTES.

EXISTING RECEPTACLE AND CONDUIT TO BE REMOVED. COORDINATE ELECTRICAL REMOVALS WITH ELECTRICAL SCOPE OF WORK



PHOTO 5 | ENTRANCE TO LOBBY



PHOTO 4 | TYPICAL WALL CONDUIT



PHOTO 3 | SPEAKERS AT MID-ROOM OPENING



PHOTO 2 | AV AT MID-ROOM OPENING



PHOTO 1 | WINDOW TREATMENTS

EXISTING SPRINKLER SYSTEM TO REMAIN, TYP.

PATCH AND REPAIR EXISTING CEILING. COORDINATE WITH THE WORK.

REMOVE EXISTING SPEAKER BOX IN ITS ENTIRETY

COORDINATE WALL GRILL WITH MECHANICAL SCOPE OF WORK

EXISTING WALL VENT GRILLE TO REMAIN.

INTENT IS TO REMOVE THESE ELECTRICAL DEVICES. COORDINATE WITH ELECTRICAL SCOPE OF WORK

REMOVE EXISTING ELECTRICAL BOX.

EXISTING FLOOR AND BASE TO REMAIN, CLEAN AND PREP AS REQUIRED PER THE WORK.

REMOVE EXISTING LIGHT FIXTURE. COORDINATE ELECTRICAL WITH ELECTRICAL SCOPE OF WORK

REMOVE EXIT SIGN

REMOVE SOFFIT ABOVE EXISTING DOOR. PATCH JAMB TRIMS AS REQUIRED

EXISTING WALL SCONCES TO REMAIN, G.C. TO PROTECT DURING ALL PHASES OF CONSTRUCTION. METAL FINISHES SHALL BE REFURBISHED AND RESTORED

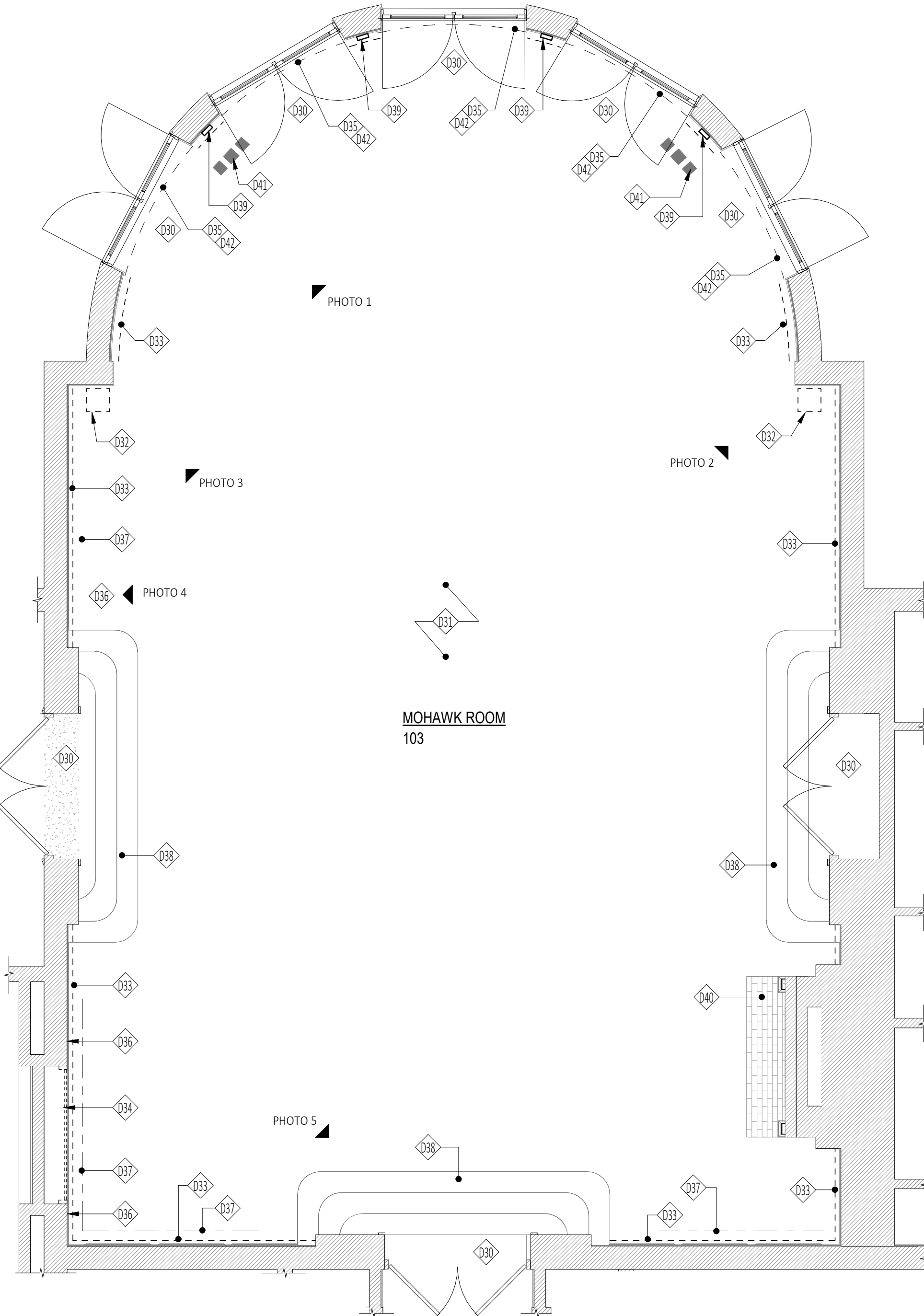
EXISTING CHAIR RAIL AND MOULDING TO REMAIN UNLESS OTHERWISE NOTED, SEE NOTES ON PLAN

### Supplemental Demolition Notes | Mohawk Room Only

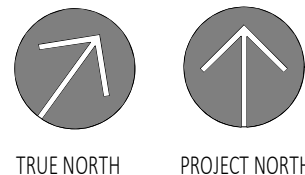
- 1) ALL REMOVALS SHALL BE COORDINATED WITH THE OVERALL SCOPE OF WORK. ANY REMOVAL REQUIRED TO ALLOW THE DESIGN INTENT AND SCOPE OF WORK TO BE COMPLETED SHALL BE PART OF THE BID WITH NO ADDITIONAL COSTS TO THE OWNER.
- 3) REMOVE ALL EXISTING DRAPERIES, CURTAINS AND CURTAIN RODS. SALVAGE TO OWNER.
- 4) REFERENCE ELECTRICAL PLANS FOR ELECTRICAL SCOPE OF WORK. INSTALLATION OF NEW LIGHTING MAY REQUIRE SELECTIVE REMOVALS OF CEILING AREAS TO ALLOW CIRCUITING AND ACCESS.
- 5) REMOVE AND SALVAGE ALL WIFI AND AV DEVICES BACK TO OWNER.
- 6) FOR BID PURPOSES, ASSUME ALL MISCELLANEOUS FURNISHINGS SHALL BE REMOVED AND STORED BY THE OWNER.

### Demolition Floor Plan Legend Moha...

D30	EXISTING DOOR AND FRAME TO REMAIN. PRESERVE AND PROTECT DURING CONSTRUCTION
D31	EXISTING TERRAZZO FLOORING TO REMAIN, CLEAN AND PREP FOR RE-SEALING PER THE WORK
D32	REMOVE EXISTING WALL MOUNTED SPEAKER BOX IN ITS ENTIRETY AND SALVAGE TO OWNER
D33	EXISTING CHAIRRAIL AND MOULDING TO REMAIN UNLESS OTHERWISE NOTED, SEE RESTORATION NOTES ON A100B
D34	REMOVE DOOR AND FRAME. PREP OPENING FOR INFILL, SEE A100B
D35	REMOVE SOFFIT ABOVE DOOR. REPAIR AND RESTORE ALL JAMBS AND TRIM FROM REMOVALS
D36	EXISTING RECEPTACLE AND CONDUIT TO BE REMOVED. COORDINATE WITH ELECTRICAL SCOPE OF THE WORK
D37	REMOVE EXISTING ART SUSPENSION TRIM IN ITS ENTIRETY. G.C. TO PATCH AND REPAIR DAMAGE TO EXISTING WALL
D38	REMOVE CARPETING FROM EXISTING STAIR, PREP STAIRS FOR NEW FINISH PER THE WORK
D39	EXISTING WALL SCONCES TO REMAIN, G.C. TO PROTECT DURING ALL PHASES OF CONSTRUCTION
D40	EXISTING FIREPLACE HEARTH TO REMAIN, G.C. TO PROTECT DURING ALL PHASES OF CONSTRUCTION
D41	COORDINATE FLOOR GRILLE REPLACEMENT WITH MECHANICAL SCOPE OF WORK
D42	REMOVE EXISTING CURTAINS AND CURTAIN ROD SYSTEMS. PATCH AND REPAIR DAMAGE TO EXISTING WALL.



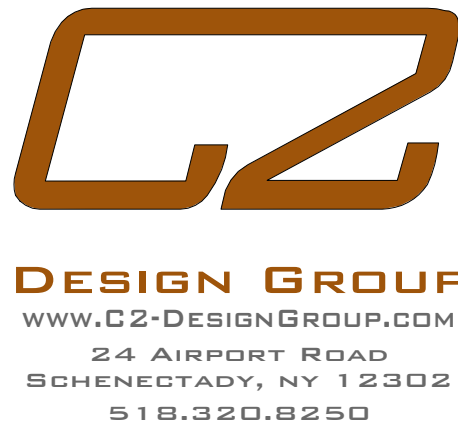
----- CHAIRRAIL  
----- ART SUSPENSION SYSTEM  
----- CURTAIN SYSTEM



1  
D100B

### Demolition Plan - Mohawk Room

SCALE: 1/4" = 1'-0"



Owner:  
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Stamp:

Project:

SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK ROOM  
RENOVATIONS

78 Washington Ave Schenectady, NY 12305

BID | RFB-2024-20

No.	REVISION #	DATE:

Drawn By: C2 Architecture

Scale: As Noted

Date: 04/19/2024

Job No: 2349

Sheet Title:

### MOHAWK ROOM DEMOLITION PLAN

Sheet Number:

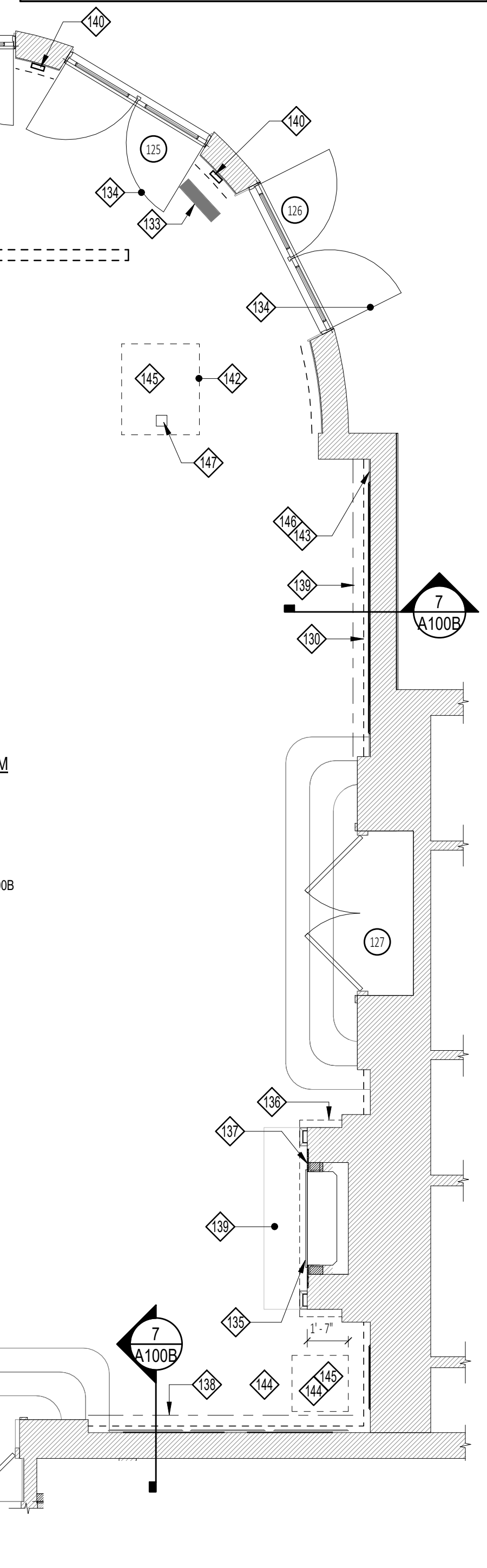
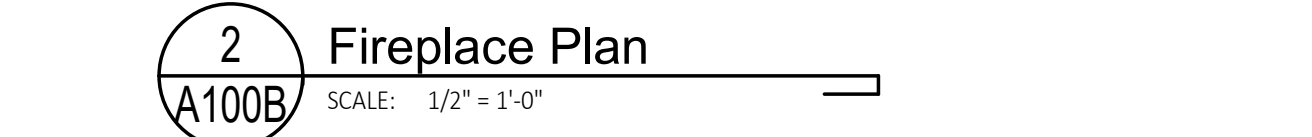
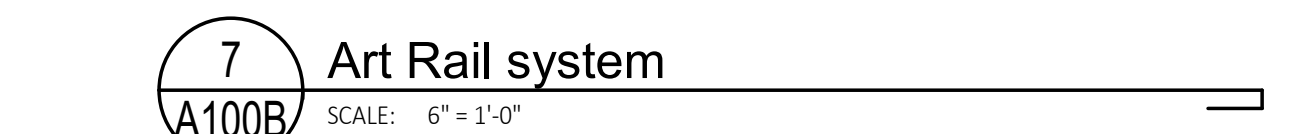
D100B

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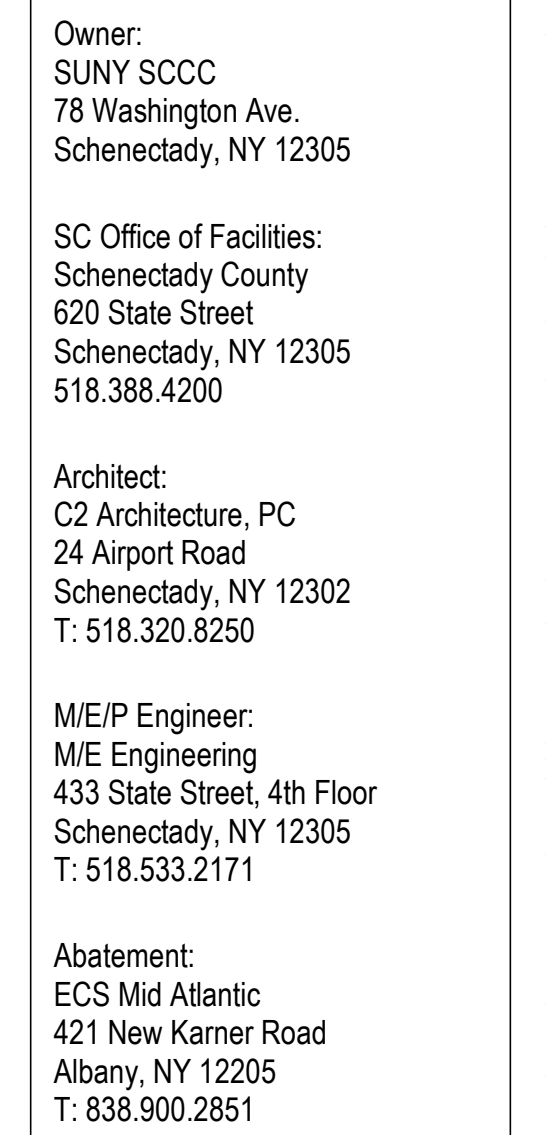
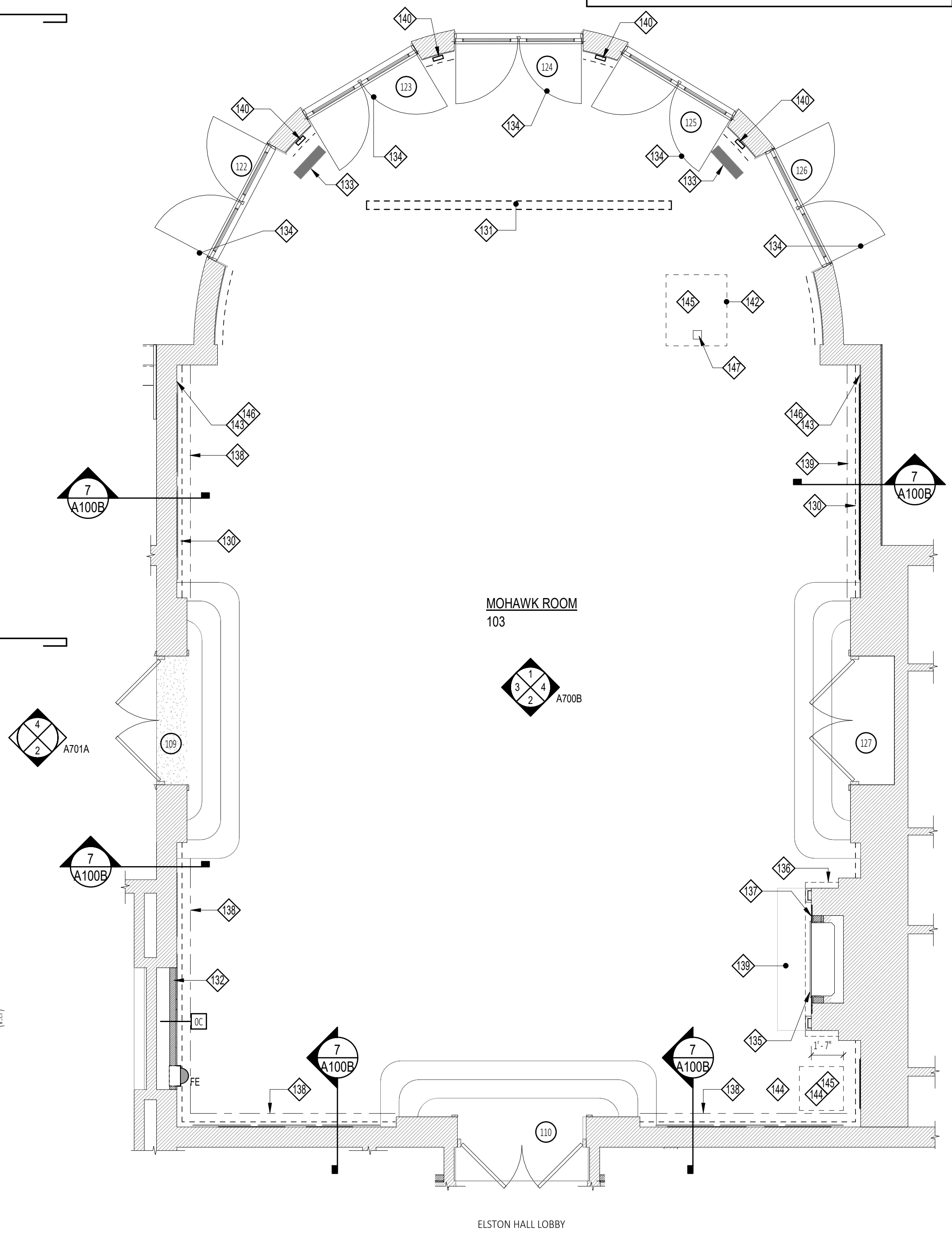
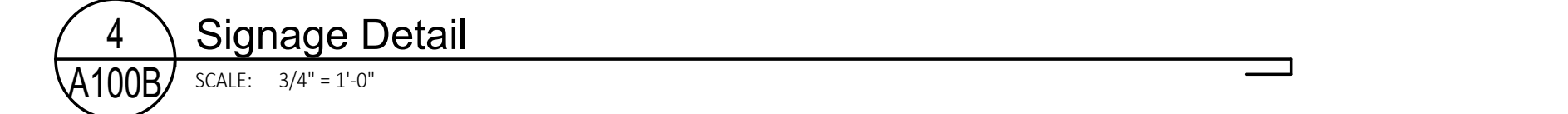
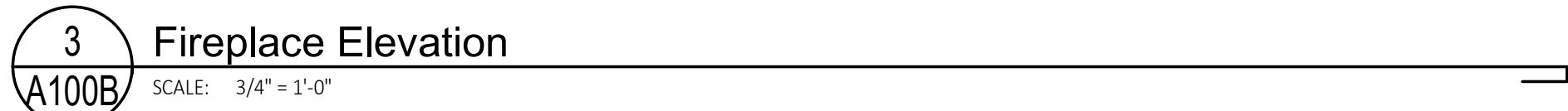




**GENERAL TRIM RESTORATION NOTES (MOHAWK ROOM):**

- 1) ALL TRIMS SHALL BE FIELD INSPECTED BY CONTRACTOR AND PATCHED/REPAIRED TO RESTORE CONDITION TO "LIKE NEW".
- 2) AT AREAS OF REPAIR AND RESTORATION, TRIM SHALL BE SANDED SMOOTH AND DEBRIS REMOVED.
- 3) AREAS OF REPAIR/RESTORATION SHALL BE FILLED/MOLDED WITH EPOXY FILLER PUTTY (OR APPROVED EQUAL) AND SANDED TO RESTORE THE ORIGINAL PROFILE.
- 4) PREP TRIM AS REQUIRED FOR NEW PAINT.

TRUE NORTH      PROJECT NORTH



Stamp:

Project:

SUNY SOCC ELSTON HALL  
LOBBY & MOHAWK ROOM  
RENOVATIONS

78 Washington Ave Schenectady, NY 12305

[illegible]

Drawn By:	CZ Architecture
Scale:	As Noted
Date:	04/19/2024
Job No:	2349
Sheet Title:	
MOHAWK ROOM FLOOR PLAN	
Sheet Number:	
A100B	



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Stamp:

Project:  
  
SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK ROOM  
RENOVATIONS

78 Washington Ave Schenectady, NY 12305

BID   RFB-2024-20		
No.	REVISION #	DATE:

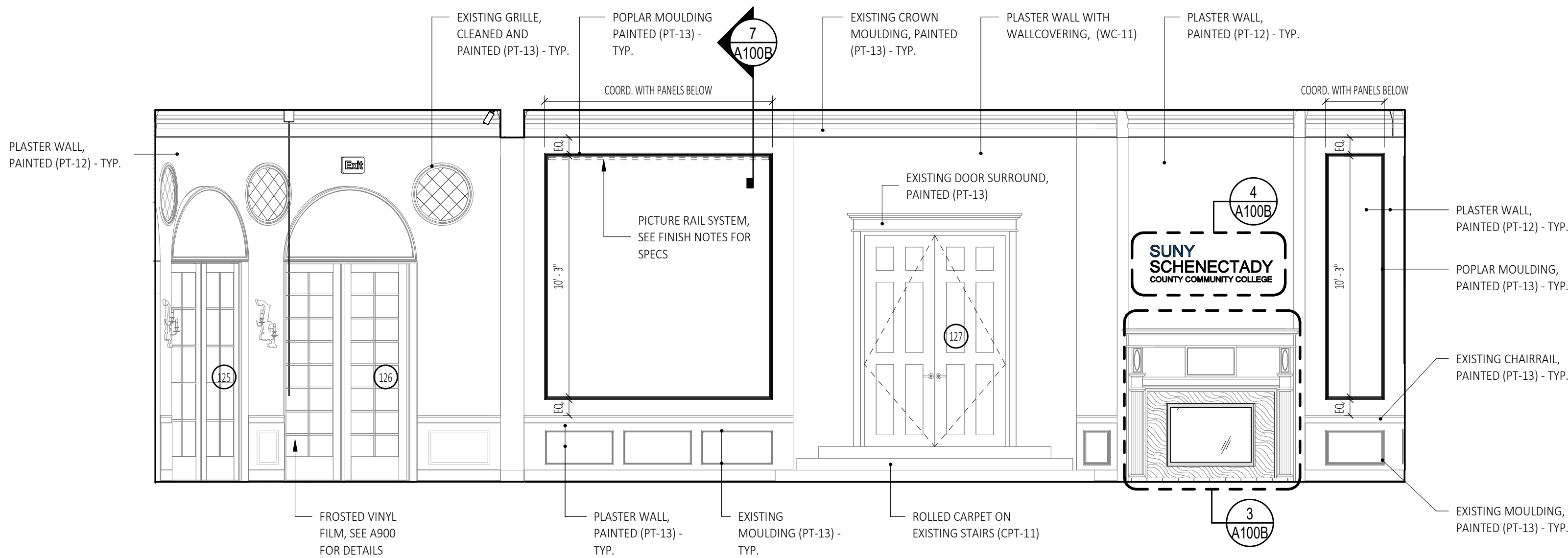
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Date: 04/19/2024  
Job No: 2349

Sheet Title:  
  
INTERIOR ELEVATIONS -  
MOHAWK ROOM

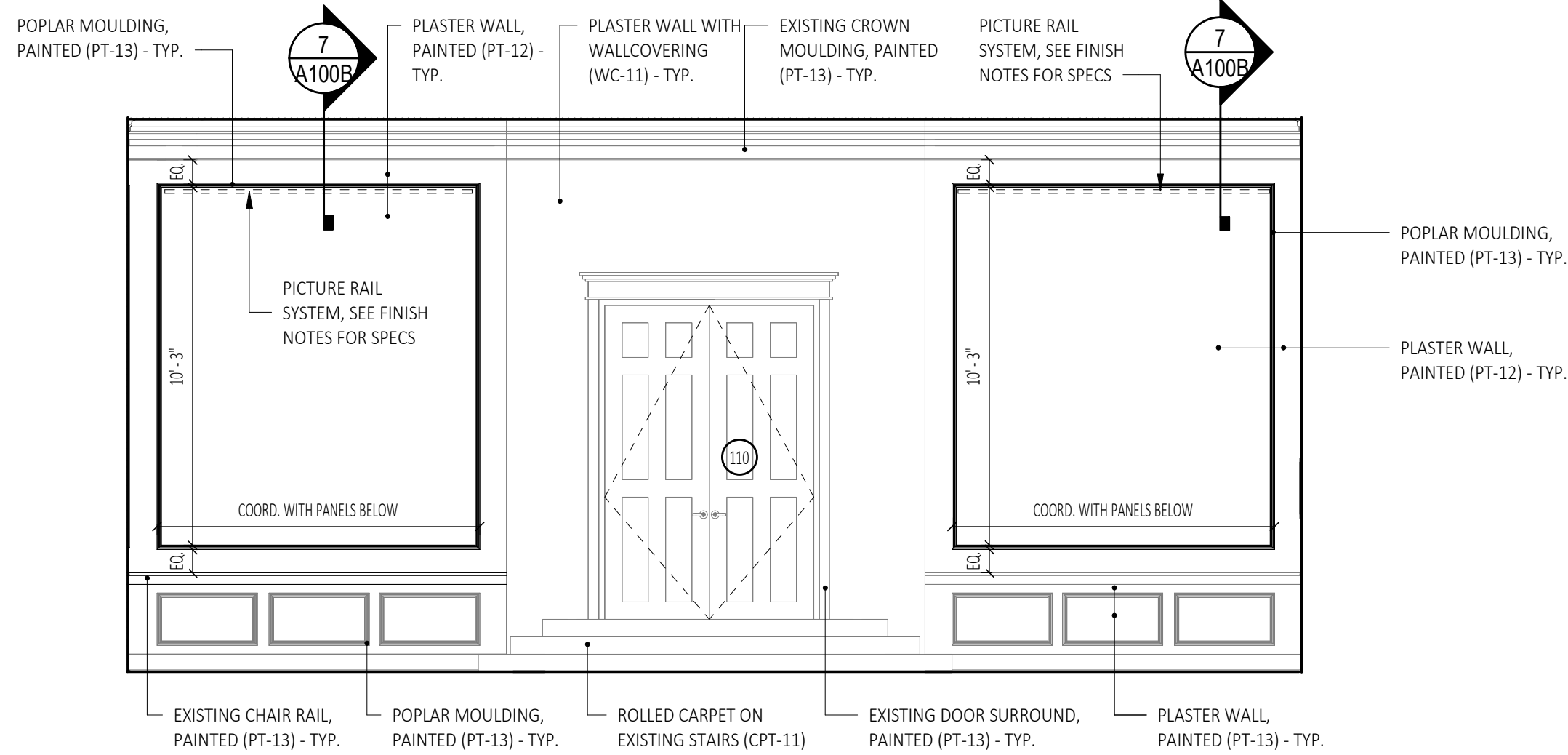
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**A700B**

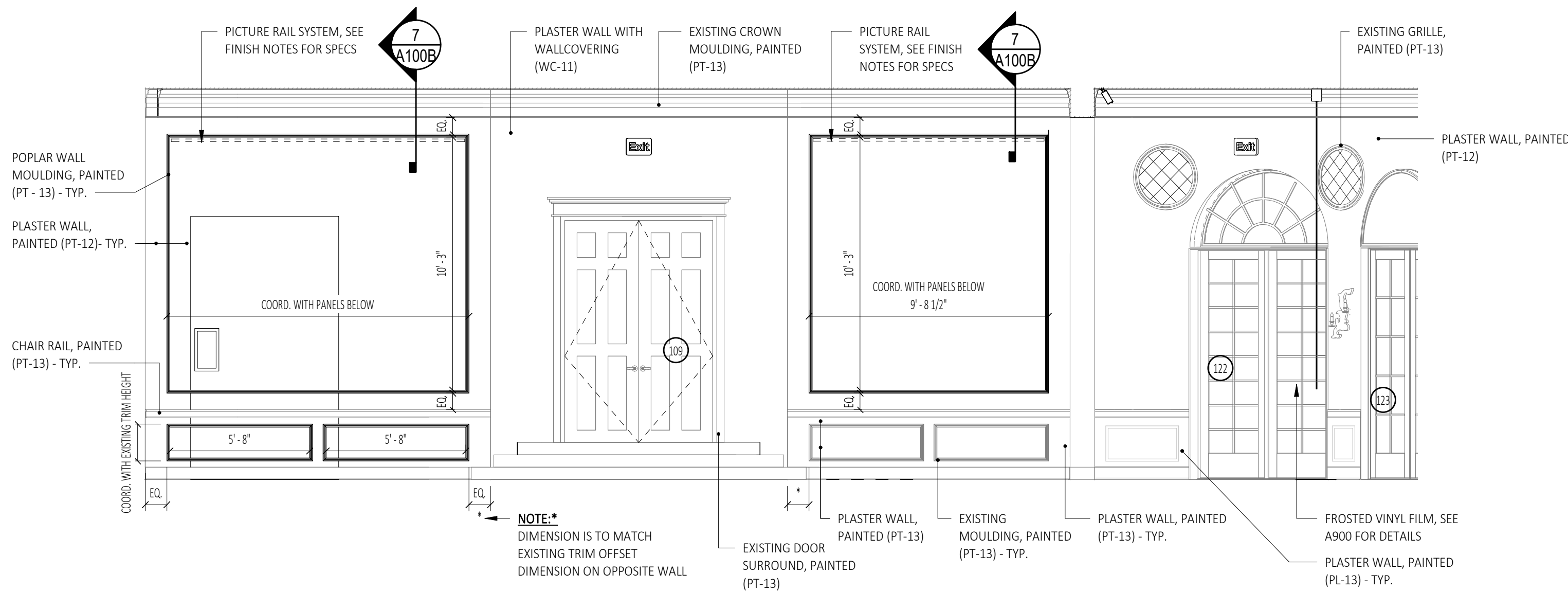
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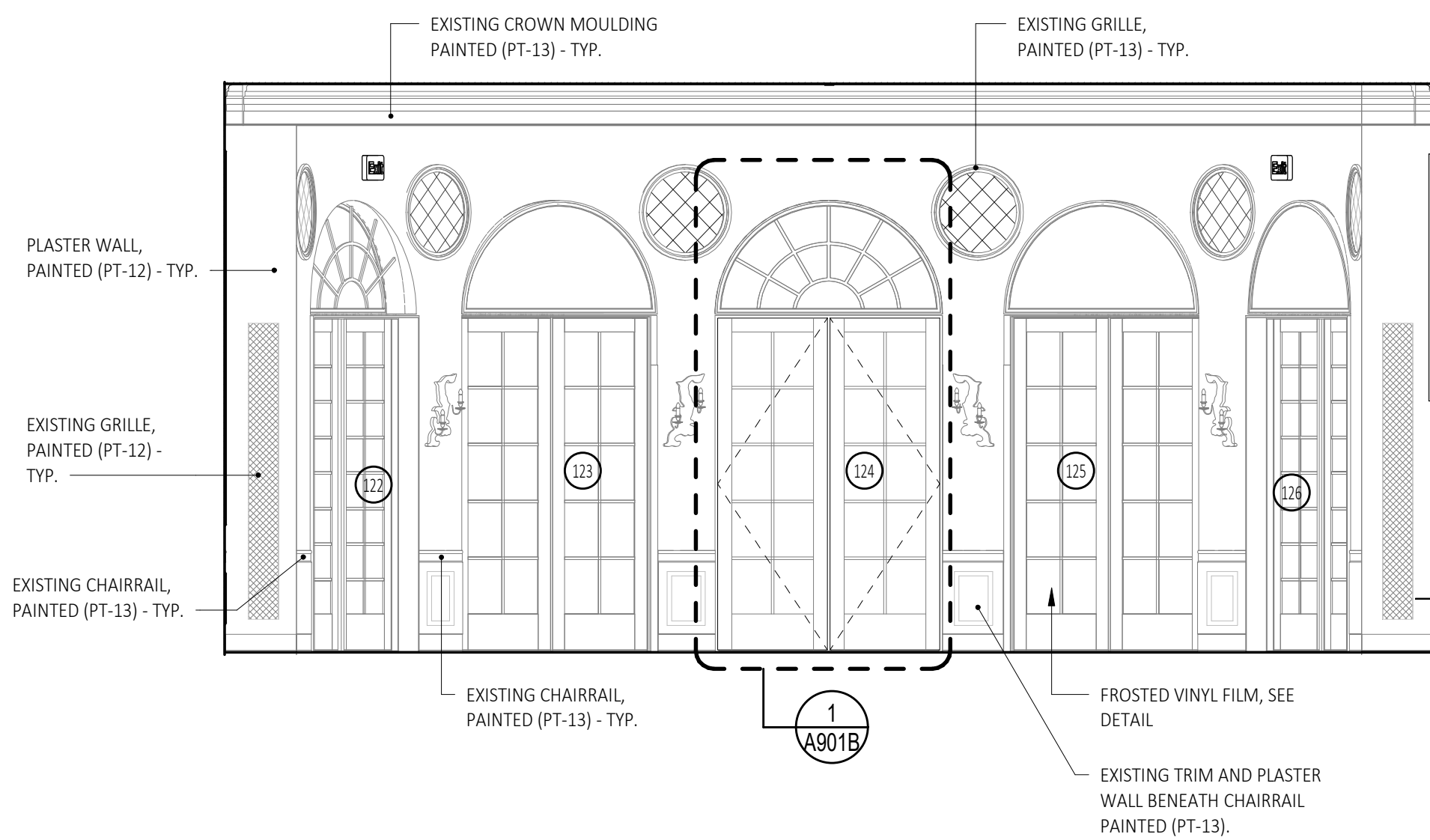
4 Interior Elevation - Mohawk Room (East)  
SCALE: 1/4" = 1'-0"



2 Interior Elevation - Mohawk Room (South)  
SCALE: 1/4" = 1'-0"



3 Interior Elevation - Mohawk Room (West)  
SCALE: 1/4" = 1'-0"

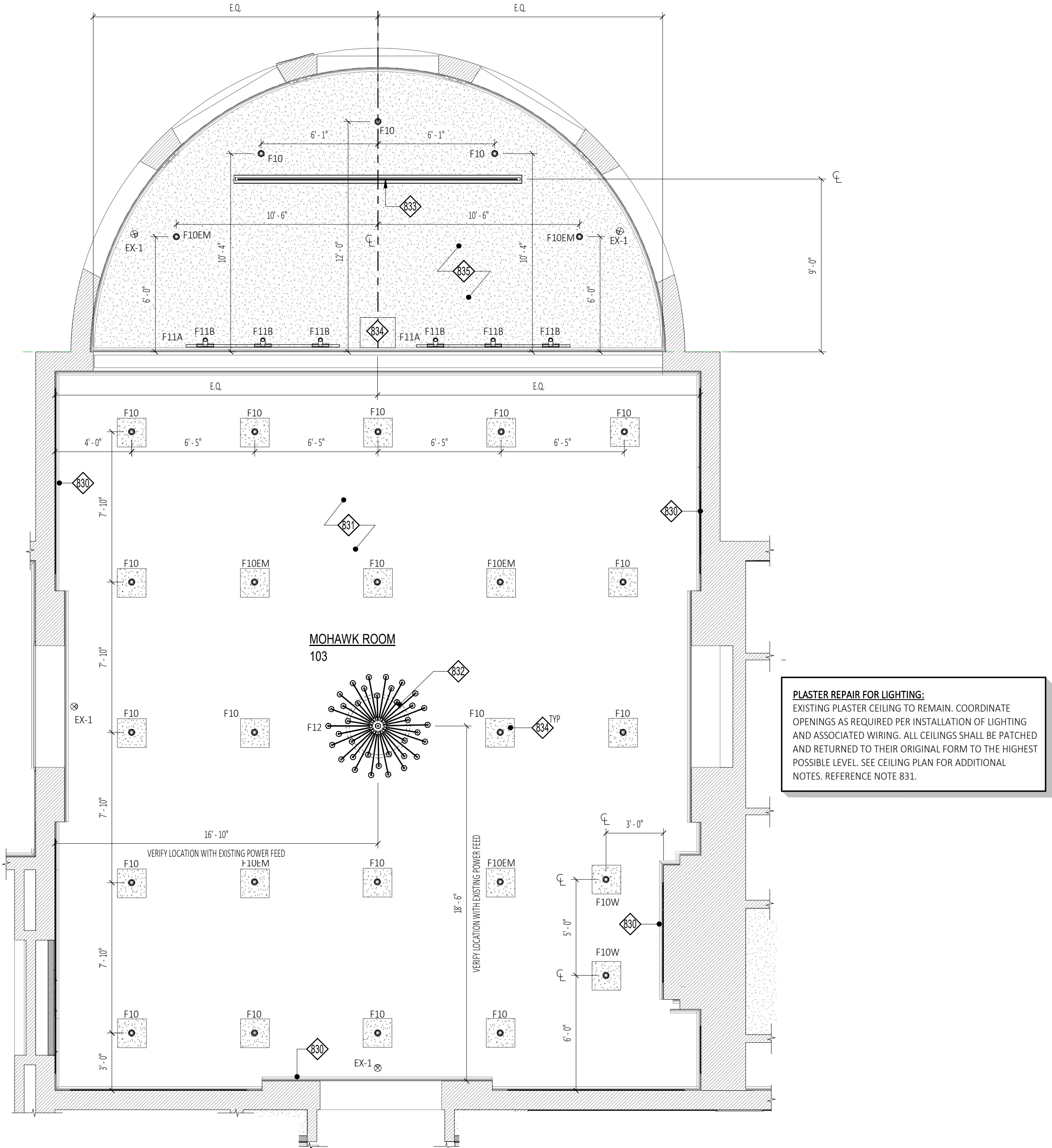


1 Interior Elevation - Mohawk Room (North)  
SCALE: 1/4" = 1'-0"

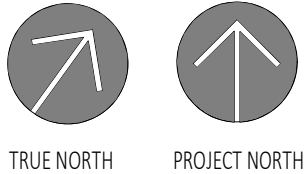


Mohawk Room Light Fixture Schedule					
TYPE	DESCRIPTION	MANUFACTURER	SPECIFICATION	COLOR (K/RGB)	COMMENTS
F10	RECESSED DOWNLIGHT	ALPHABET	NU3-RDDR-SW-2020LM-30K-90-50D-HET-WH-WH-RET-UNV-DIM10	3000	
F10EM	RECESSED DOWNLIGHT	ALPHABET	NU3-RDDR-SW-2020LM-30K-90-50D-HET-WH-WH-RET-UNV-DIM10-EM12	3000	BATTERY BACK-UP
F11A	TRACK SYSTEM	BRUCK LIGHTING	370GES-208-WH-COMPONENTS	-	
F11B	TRACK HEAD	BRUCK LIGHTING	LX-PRO-SPOT-15LM-30K-90-DZ2-HET-NA-WH-ECO-H-VOLT-DIM10	3000	
F12	CHANDELIER	-		3000	SEE ALLOWANCES
EX-1	EXIT SIGN (CEILING)	ACUITY BRANDS	EDGR-W-1-G-EL	-	BATTERY BACK-UP
F10W	RECESSED DOWNLIGHT	ALPHABET	NUR3-RW-SW-20LM-30K-90-WW-WH-WH-RET-UNV-DIM10	3000	

Ceiling Plan Keynote Legend Mohawk	
830	EXISTING CROWN MOULDING, PAINTED (PT-11)
831	EXISTING PLASTER CEILING TO BE PATCHED AND REPAIRED WITH SPRAY APPLIED LEVEL 5 FINISH AND PAINTED (PT-11)
832	EXISTING CEILING MEDALLION, PAINTED (PT-11)
833	SURFACE MOUNTED MOTORIZED PROJECTOR SCREEN, G.C. TO COORDINATE POWER WITH ELECTRICAL.
834	SURFACE MOUNTED PROJECTOR, G.C. TO COORDINATE INSTALLATION WITH AV CONSULTANT. G.C. TO COORDINAT EPOWER WITH ELECTRICAL. G.C. TO COORDINATE INSTALLATION WITH EXISTING CEILING STRUCTURE
835	PROVIDE NEW PLASTER STYLE CEILING ON EXISTING



1 Reflected Ceiling Plan - Mohawk Room  
A800B SCALE: 1/4" = 1'-0"



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Stamp:

Project:

SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK ROOM  
RENOVATIONS

78 Washington Ave Schenectady, NY 12305

BID | RFB-2024-20

No.	REVISION #	DATE:

Drawn By: C2 Architecture  
Scale: As Noted  
Date: 04/19/2024  
Job No: 2349  
Sheet Title:

MOHAWK ROOM REFLECTED  
CEILING PLAN

Sheet Number:

A800B

PLOT DATE: 4/26/2024 9:33:57 AM



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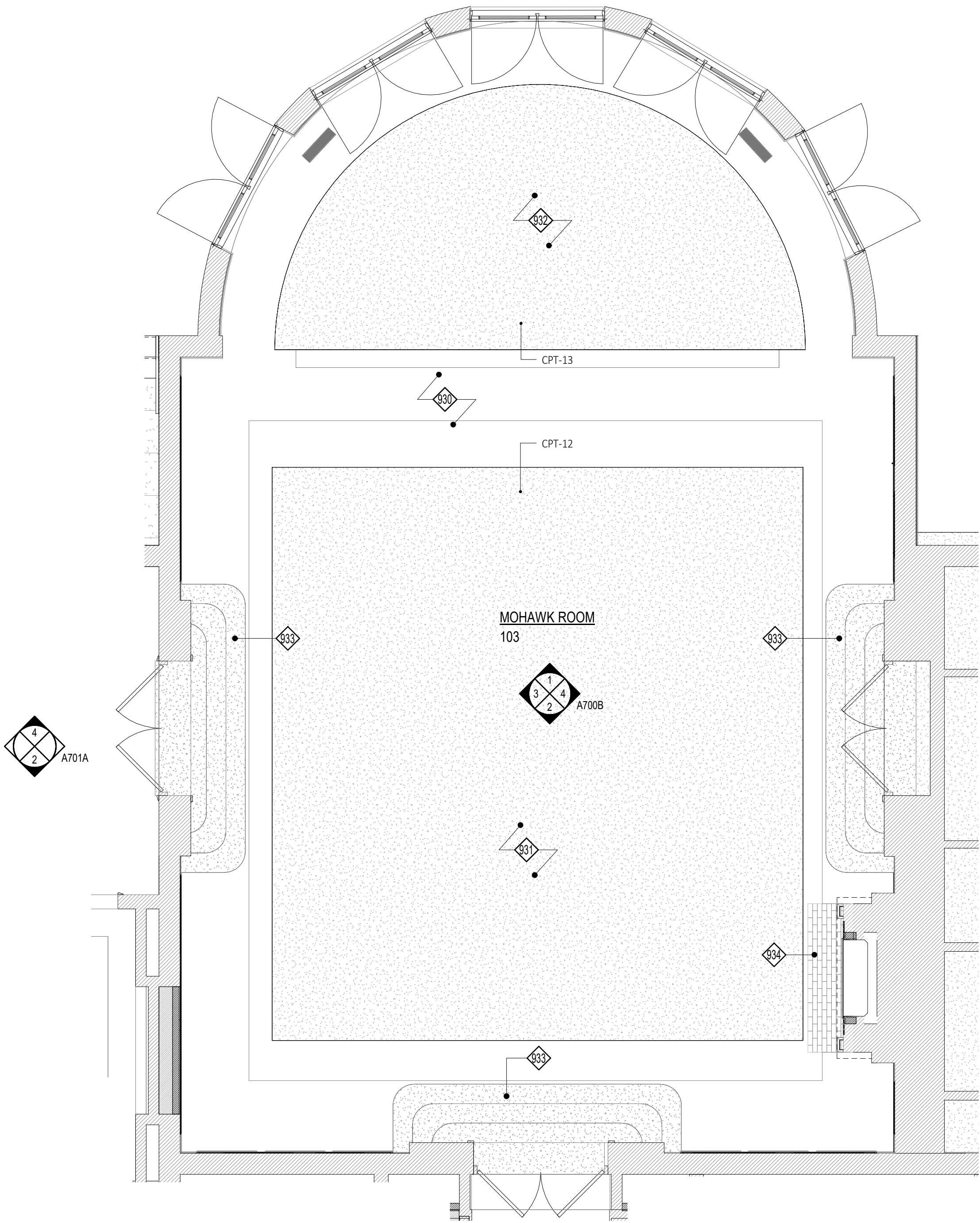
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No.	REVISION #	DATE:

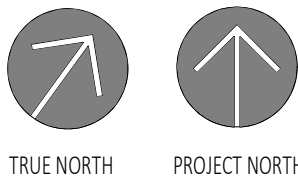
Drawn By:	C2 Architecture
Scale:	As Noted
Date:	04/19/2024
Job No:	2349
Sheet Title:	MOHAWK ROOM FINISH PLAN
Sheet Number:	A900B

Finish Plan Keynote Legend	
930	EXISTING TERRAZZO FLOOR TO BE REFINISHED, SEE FINISH NOTES.
931	AREA RUG (CPT-12)ACTUAL EXTENTS BY MANUFACTURER, CENTERED IN ROOM AS SHOWN
932	AREA RUG (CPT-13)ACTUAL EXTENTS BY MANUFACTURER.
933	EXISTING STEPS TO RECEIVE CARPET (CPT-11).
934	EXISTING FIREPLACE BRICK HEARTH PAINTED (PT-16).



1 2 - Mohawk Room (Finish)

SCALE: 1/4" = 1'-0"



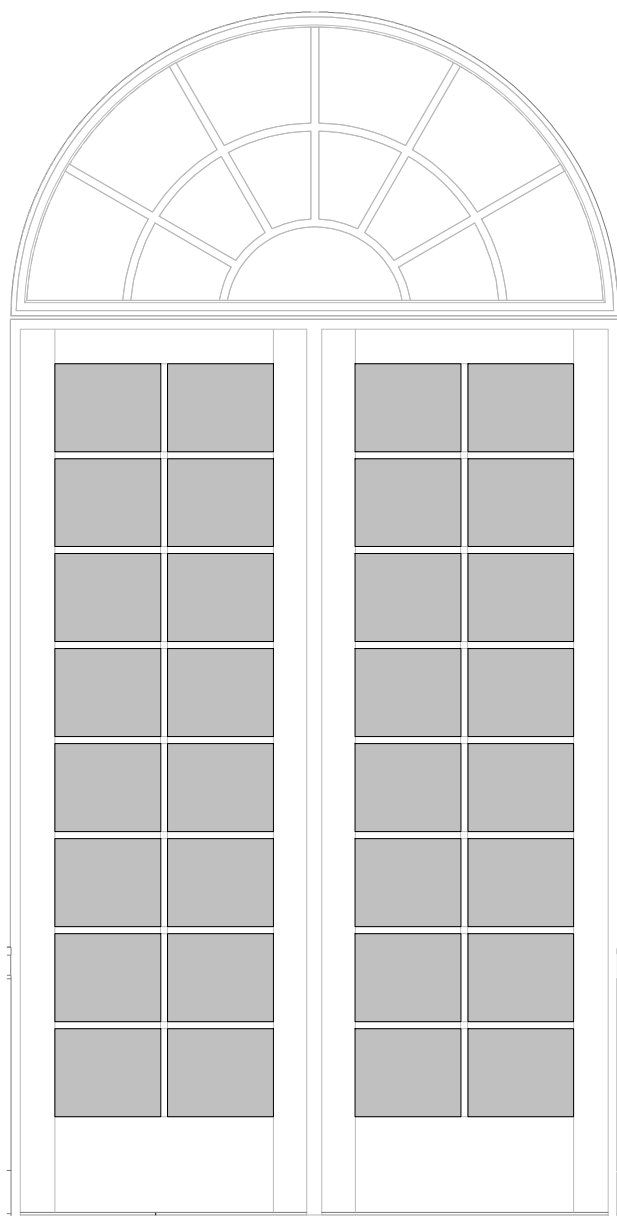


Door Schedule - Mohawk

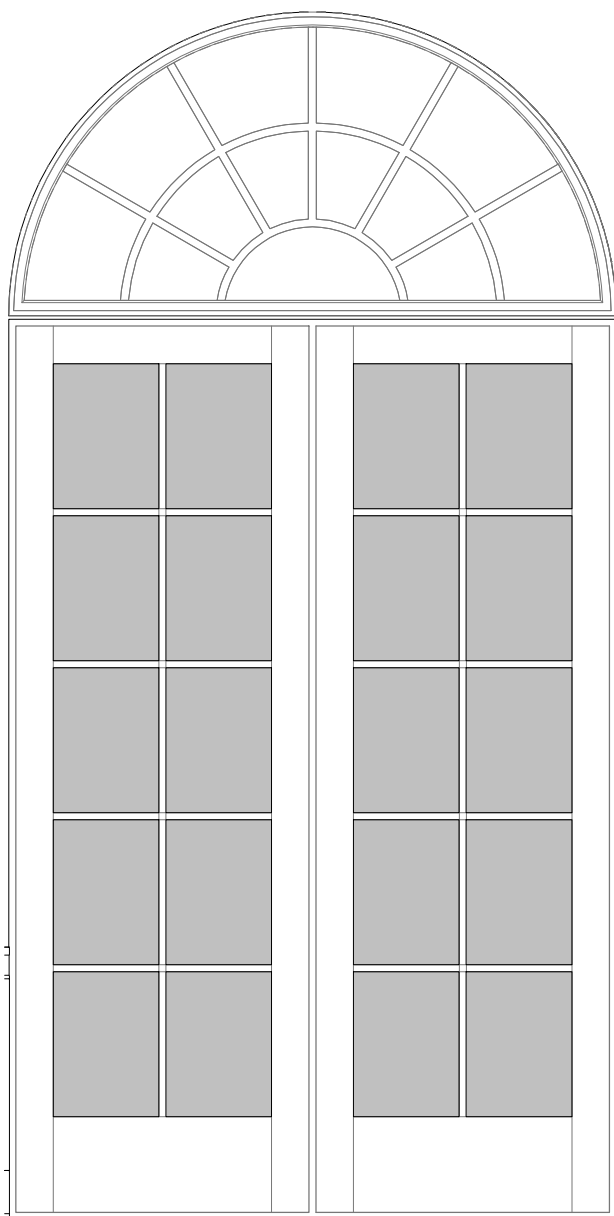
Door No.	Location	DOOR		DOOR						FRAME						Hardware	Rating	Comments	Door No.
		Width	Total Width	Height	Thk.	Material	Finish	Type	Glazing	Material	Finish	Type	Head	Jamb	Sill				
122	MOHAWK ROOM 100b / GATHERING SPACE	3' - 2"	6' - 4"	9' - 5"		ETR	PT-15	ETR	ETR	ETR	PT-16	ETR	-	-	-			FOR FILM DETAILS SEE A900	122
123	MOHAWK ROOM 100b / GATHERING SPACE	3' - 2"	6' - 4"	9' - 5"		ETR	PT-15	ETR	ETR	ETR	PT-16	ETR	-	-	-			FOR FILM DETAILS SEE A900	123
124	MOHAWK ROOM 100b / GATHERING SPACE	3' - 2"	6' - 4"	9' - 5"		ETR	PT-15	ETR	ETR	ETR	PT-16	ETR	-	-	-			FOR FILM DETAILS SEE A900	124
125	MOHAWK ROOM 100b / GATHERING SPACE	3' - 2"	6' - 4"	9' - 5"		ETR	PT-15	ETR	ETR	ETR	PT-16	ETR	-	-	-			FOR FILM DETAILS SEE A900	125
126	MOHAWK ROOM 100b / GATHERING SPACE	3' - 2"	6' - 4"	9' - 5"		ETR	PT-15	ETR	ETR	ETR	PT-16	ETR	-	-	-			FOR FILM DETAILS SEE A900	126
127	MOHAWK ROOM 100b	3' - 0"	6' - 0"	9' - 0"	0' - 1 3/4"	ETR	PT-15	ETR	ETR	ETR	PT-16	ETR	-	-	-				127

Mohawk Room Finish Legend

Finish No.	Manufacturer	Series   Style   Color	Size	Location	Comments
CARPET					
CPT-11	SHAW CONTRACT	SHADE   BROADLOOM GRADIENT   34761 BIRD'S EYE	-	STAIRS	
CPT-12	SHAW CONTRACT	CULTIVATE SOUL   BROADLOOM ADAGE ULTRALOC MB   27585 VIRTUE	27" LONG X 25" WIDE		
CPT-13	SHAW CONTRACT	CULTIVATE SOUL   BROADLOOM ADAGE ULTRALOC MB   27585 VIRTUE	13" LONG X 25" WIDE		HALF ROUND
MARBLE					
MBL-1	-	POLISHED BINACO LUNA	-	FIREPLACE SURROUND	
PAINT					
PT-11	SHERWIN WILLIAMS	SW 7558 MEDICI IVORY	-	CEILING	FLAT FINISH
PT-12	SHERWIN WILLIAMS	SW 7637 OYSTER WHITE	-	FIELD, INSETS	EGGSHELL FINISH
PT-13	SHERWIN WILLIAMS	SW 7558 MEDICI IVORY	-	TRIMS, WAINSCOT	SEMI-GLOSS FINISH
PT-14	SHERWIN WILLIAMS	SW 2822 DOWNING SAND	-	FIREPLACE BODY AND MANTEL	EGGSHELL FINISH
PT-15	SHERWIN WILLIAMS	SW 7558 MEDICI IVORY	-	DOORS	SEMI-GLOSS FINISH
PT-16	SHERWIN WILLIAMS	SW 7558 MEDICI IVORY	-	DOOR FRAMES	SEMI-GLOSS FINISH
PT-17	SHERWIN WILLIAMS	SW 7515 HOMESTEAD BROWN	-	FIREPLACE HEARTH	
TRANSITION STRIP					
TS-11	SHAW CONTRACT	1.31 REDUCER 144VS   CLAY 00040	-	SEE FINISH PLAN	
WALLCOVERING					
WC-11	SURFACE MATERIALS	DE NOVO   CANYON LINEN   DN2-CNL-16 VERMILLION CLIFFS	-	SEE ELEVATIONS	



NOTE:  
NO VINYL FILM ON TOP  
WINDOW GLAZING



NOTE:  
NO VINYL FILM ON TOP  
WINDOW GLAZING

NOTE:  
PROVIDE TRANSLUCENT VINYL FILM AT  
EACH GLAZED DOOR LITE - TYPICAL FOR  
DOORS OF THE SAME TYPE WITHIN THE  
ROOM.

2 Vinyl Film at ADA Mohawk Room Doors  
A901B SCALE: 1/2" = 1'-0"

NOTE:  
PROVIDE TRANSLUCENT VINYL FILM AT  
EACH GLAZED DOOR LITE - TYPICAL FOR  
DOORS OF THE SAME TYPE WITHIN THE  
ROOM .

1 Vinyl Film at Mohawk Room Doors  
A901B SCALE: 1/2" = 1'-0"

General Finish Notes

- INTERIOR WALL AND CEILING FINISHES IN INTERIOR EXIT STAIRWAYS, EXIT PASSAGEWAYS, CORRIDORS, AND ENCLOSURE FOR EXIT ACCESS STAIRWAYS SHALL BE CLASS A (0-25 FLAME SPREAD INDEX; 0-450 SMOKE-DEVELOPMENT INDEX) OR BETTER, WHEN TESTED IN ACCORDANCE WITH ASTM E84-2007 OR UL 723-2003
- INTERIOR WALL AND CEILING FINISHES IN SPACES OTHER THAN THOSE NOTED ABOVE SHALL BE CLASS B (25-75 FLAME SPREAD INDEX; 0-450 SMOKE DEVELOPMENT INDEX) OR BETTER, WHEN TESTED IN ACCORDANCE WITH ASTM E84-2007 OR UL 723-2003
- FLOOR FINISHES SHALL COMPLY WITH THE DOC FF-1 "PILL TEST" CPSC 160CFR PART 1630-2000
- GC TO PROVIDE SIGNAGE AS OUTLINED IN THE SPECIFICATIONS ALONG WITH ANY ADDITIONAL REQUIRED SIGNAGE REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- TERRAZZO REPAIR/CLEANING/POLISHING:**
  - TERRAZZO CONTRACTOR SHALL VISIT SITE AND INSPECT ALL TERRAZZO AREAS PRIOR TO BID. TERRAZZO CONTRACTOR SHALL INCLUDE IN THEIR BID, ALL PREPARATION, PATCHING AND REPAIR AS NEEDED TO COMPLETE THE DESIGN INTENT - REGARDLESS IF INDICATED ON THE DRAWINGS - FOR THE SCOPE OF WORK.
  - AREAS OF TERRAZZO REPAIR SHALL BE PREPARED AS FOLLOWS:
    - CLEAN AND STRIP EXISTING TERRAZZO AREAS.
    - USE PIONEER ECLIPSI FORMULA X (OR APPROVED EQUAL)
    - GRIND FLOOR:
      - 1ST PASS GRIND (150 GRIT METAL BONDED DIAMOND PAD)
      - 2ND PASS GRIND (100 GRIT CERAMIC PAD)
      - 3RD PASS GRIND (200 GRIT CERAMIC PAD)
      - 4TH PASS GRIND (400 GRIT CERAMIC PAD)
      - 5TH PASS GRIND (800 GRIT CERAMIC PAD)
    - SEAL FLOOR.
    - USE DIVERSEY PLAZA PLUS (OR APPROVED EQUAL)
- WOOD FLOOR NOTES:**
  - EXISTING WOOD FLOOR IN THE VAN CURLER ROOM SHALL BE PREPARED AND REFINISHED PER SPECIFICATIONS.
- WINDOW SHADES:**
  - WINDOW SHADES SHALL BE "WINDOWS, SHADES AND MORE" SCHENECTADY, NY (OR APPROVED EQUAL).
  - SHADE SYSTEMS SHALL INCLUDE ALL REQUIRED COMPONENTS FOR MANUAL OPERATION, INCLUDING LIFT ASSIST MECHANISM BASED ON OPENING SIZE. SHADE SYSTEMS SHALL BE COMPLETE WITH INTEGRAL FASCIAS.
- WINDOW SHADES SHALL BE PROVIDED AT WINDOWS AS FOLLOWS:
  - ELSTON HALL AND SECURITY OFFICES:
    - PROVIDE (1) SHADE PER WINDOW
    - LIGHT FILTERING (3%), COLOR TO BE SELECTED (OFF-WHITE)
    - PROVIDE TRANSLUCENT VINYL FILM FOR HALFMOON TRANSOM WINDOW ABOVE
- WINDOW TREATMENTS:**
  - SEE ALLOWANCES FOR WINDOW TREATMENTS. WINDOW TREATMENTS SHALL BE PROVIDED
- PICTURE RAIL ART SUSPENSION SYSTEM:**
  - MOHAWK ROOM
    - PROVIDE SYSTEMATIC ART - CLICK ART DECO MODEL
    - PROVIDE SUSPENSION COMPONENTS FOR (16) SIXTEEN TOTAL PIECES OF ARTWORK
      - SUSPENSION COMPONENTS SHALL INCLUDE ALL ITEMS REQUIRED TO SUSPEND THE ARTWORK INCLUDING BUT NOT LIMITED TO HOOKS/RODS, CABLES, HARDWARE CONNECTION TO FRAME
      - SUSPENSION CABLES SHALL BE COBRA CABLES.

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Stamp:

Project:

SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK ROOM  
RENOVATIONS

78 Washington Ave Schenectady, NY 12305

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No.	REVISION #	DATE:

Drawn By: C2 Architecture  
Scale: As Noted  
Date: 04/19/2024  
Job No: 2349  
Sheet Title:

DOOR SCHEDULE - MOHAWK ROOM

Sheet Number:

A901B



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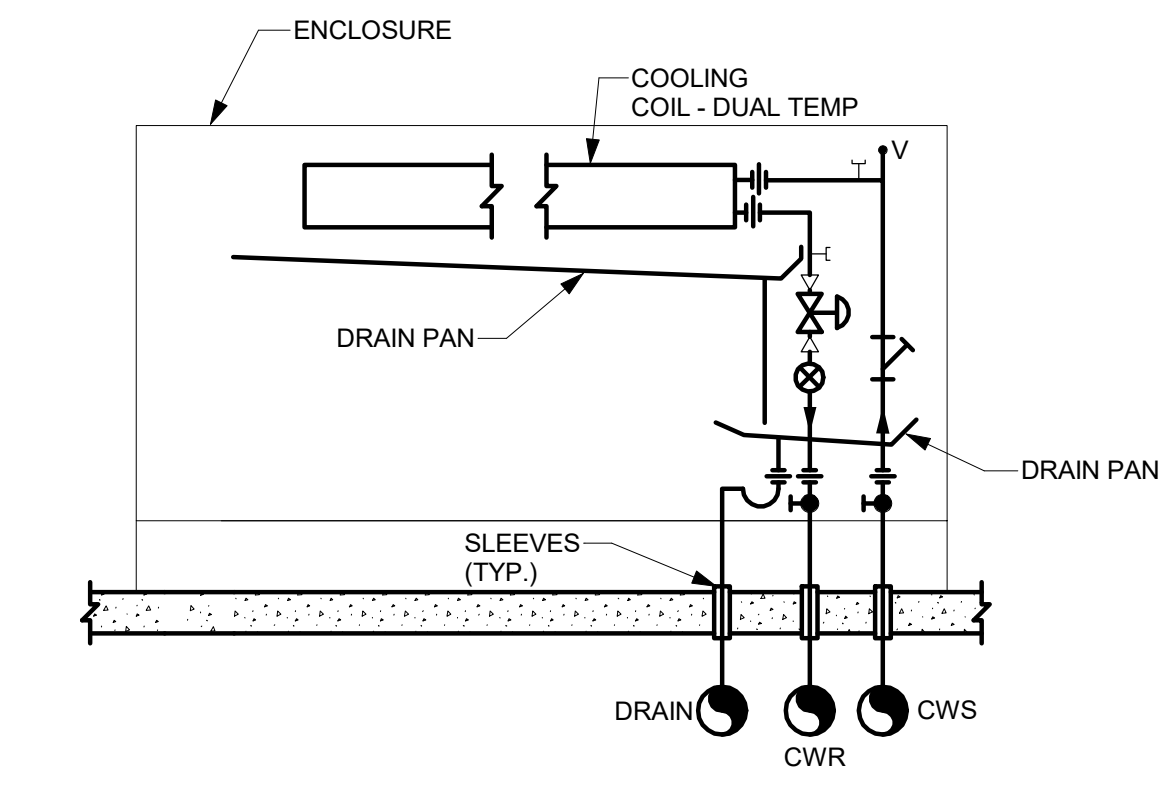
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Drawn By: C2 Architecture  
Scale: As Noted  
Date: 04/19/2024  
Job No: 2349  
Sheet Title:  
HVAC SYMBOLS LIST,  
DETAILS AND  
SCHEDULES  
Sheet Number:

M001

HVAC SYMBOL LIST			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING WORK TO BE REMOVED		COMPRESSED AIR
	POINT OF CONNECTION		VENT
	POINT OF DISCONNECTION		BOILER BLOW DOWN
	DRAWING KEYNOTE		CONDENSER WATER SUPPLY
	DEMOLITION KEYNOTE		CONDENSER WATER RETURN
	THOUSAND BTU/HOUR		CHILLED WATER SUPPLY
	NOT TO SCALE		CHILLED WATER RETURN
	EXISTING		DRAIN
	ACOUSTIC THERMAL LINING - 1-1/2" THICK		FUEL OIL FILL
	ACOUSTIC THERMAL LINING - 2" THICK		FUEL OIL GAUGE
	DOUBLE WALL LINED DUCT		FUEL OIL SUPPLY
	FEET PER MINUTE		FUEL OIL RETURN
	CUBIC FEET PER MINUTE		FUEL OIL TANK VENT
	OPPOSED BLADE VOLUME DAMPER		GAS
	ABOVE FINISHED FLOOR		GLYCOL SUPPLY
	ACCESS DOOR		GLYCOL RETURN
	WALL TO WALL		HEAT PUMP WATER SUPPLY
	GENERAL CONTRACTOR		HEAT PUMP WATER RETURN
	MECHANICAL CONTRACTOR		HOT WATER SUPPLY
	PLUMBING CONTRACTOR		HOT WATER RETURN
	ELECTRICAL CONTRACTOR		LOW PRESSURE STEAM
	NORMALLY OPEN		LOW PRESSURE CONDENSATE
	NORMALLY CLOSED		MEDIUM PRESSURE STEAM
	FLEXIBLE DUCTWORK		MEDIUM PRESSURE CONDENSATE
	DUCT SECTION - FLAT OVAL (FO)		HIGH PRESSURE STEAM
	ROUND DUCT - IN INCHES		HIGH PRESSURE CONDENSATE
	DUCT SECTION - SUPPLY		PUMPED CONDENSATE
	DUCT SECTION - RETURN		REFRIGERANT DISCHARGE
	WIDTH A x DEPTH B		REFRIGERANT LIQUID
	TRANSITION SQUARE TO ROUND		REFRIGERANT SUCTION
	RISE IN DUCT - IN DIRECTION OF AIRFLOW		HOT GAS
	DROP IN DUCT - IN DIRECTION OF AIRFLOW		VACUUM
	SUPPLY DUCT TURNING UP OR DOWN		DOMESTIC COLD WATER
	RETURN DUCT TURNING UP OR DOWN		TRIPLE DUTY VALVE
	SUPPLY/RETURN RECTANGULAR MAIN RECTANGULAR BRANCH		GLOBE VALVE
	SUPPLY/RETURN RECTANGULAR MAIN ROUND BRANCH		BALL VALVE
	SUPPLY/RETURN ROUND MAIN ROUND BRANCH		GATE VALVE
	CONICAL TEE		CONTROL VALVE
	LATERAL TEE		THREE WAY CONTROL VALVE
	MITERED ELBOW WITH TURNING VANES		CHECK VALVE
	SUPPLY DIFFUSER, REGISTER OR GRILLE		BALANCING VALVE
	RETURN REGISTER		BUTTERFLY VALVE
	EXHAUST GRILLE		RELIEF VALVE
	FIN TUBE RADIATION		PRESSURE REDUCING VALVE
	VALANCE		PRESSURE/TEMPERATURE TEST PLUG
	REGISTER, GRILLE OR DIFFUSER TAG		SINGLE LINE PIPE CONTINUED
	LINEAR DIFFUSER TAG		DOUBLE LINE PIPE OR ROUND DUCT CONTINUED
	FIN TUBE RADIATION TAG		DOUBLE LINE RECTANGULAR DUCT CONTINUED
	RADIANT CEILING PANEL TAG		AIR FLOW
	AIR TERMINAL UNIT AND TAG (OPTION 1)		PIPE ANCHOR
	AIR TERMINAL UNIT TAG (OPTION 2)		PIPE GUIDE
	DUCT SMOKE DETECTOR		EXPANSION COMPENSATOR WITH GUIDES



DETAIL NOTES:

A. ARRANGE PIPING TO ALLOW INSTALLATION OF PIPE INSULATION. PIPES ARE NOT TO COME IN CONTACT WITH EACH OTHER OR CABINET.

B. DRAIN PIPING BY THE PLUMBING CONTRACTOR.

C. PROVIDE 3-WAY VALVES WHERE SHOWN ON PLANS - PIPE ACCORDING TO CONTROL VALVE SUPPLIER.

1 CONSOLE FAN COIL UNIT PIPING DETAIL  
NOT TO SCALE

FAN COIL UNIT SCHEDULE - CHILLED WATER/HOT WATER																																		
UNIT NO.	LOCATION	TYPE	AIR SIDE		COOLING COIL - CHANGE OVER										HEATING COIL - CHANGE OVER										FAN MOTOR				MANUFACTURER & MODEL No.	REMARKS				
			AIR FLOW (CFM)	MIN O.A. (CFM)	EXT. STATIC (In. WC)	SENSIBLE (MBH)	LATENT (MBH)	TOTAL (TONS)	EAT (DEG. F) DB	WB	LAT (DEG. F) DB	WB	WATER FLOW (GPM)	WATER P.D. (FL HD)	ENT. WATER TEMP. (DEG. F)	LVG. WATER TEMP. (DEG. F)	FLUID	ROWS	FPI	CAPACITY (MBH)	ENT. AIR TEMP. (DEG. F)	LVG. AIR TEMP. (DEG. F)	WATER FLOW (GPM)	WATER P.D. (FL HD)	ENT. WATER TEMP. (DEG. F)	LVG. WATER TEMP. (DEG. F)	FLUID	RPM			W	VOLTS	PHASE	
FCU-1	1ST FLOOR	VERTICAL CABINET	933	20	0.1	22.73	6.68	2	75	63	52.62	51.96	6.0	11.4	45	55	WATER	4		114.74	40	153.4	6	10.2	180	142	WATER		209	120	1		TRANE SIZE 100	
FCU-2	1ST FLOOR	VERTICAL CABINET	933	20	0.1	22.73	6.68	2	75	63	52.62	51.96	6.0	11.4	45	55	WATER	4		114.74	40	153.4	6	10.2	180	142	WATER		209	120	1		TRANE SIZE 100	
FCU-3	1ST FLOOR	VERTICAL CABINET	217	20	0.1	5.04	1.18	0.5	75	63	53.66	53.05	1.31	3.4	45	55	WATER	4		26.54	40	152.7	1.31	11.54	180	140	WATER		50	120	1		TRANE SIZE 20	
FCU-4	1ST FLOOR	VERTICAL CABINET	217	20	0.1	5.04	1.18	0.5	75	63	53.66	53.05	1.31	3.4	45	55	WATER	4		26.54	40	152.7	1.31	11.54	180	140	WATER		50	120	1		TRANE SIZE 20	
FCU-5	1ST FLOOR	VERTICAL CABINET	217	20	0.1	5.04	1.18	0.5	75	63	53.66	53.05	1.31	3.4	45	55	WATER	4		26.54	40	152.7	1.31	11.54	180	140	WATER		50	120	1		TRANE SIZE 20	
FCU-6	1ST FLOOR	VERTICAL CABINET	500	20	0.1	20	13.95	1.7	80	67	54.4	53.8	4.32	8.44	45	55	WATER	4		53.2	60	158	4.32	7.5	180	155	WATER		97	120	1		TRANE SIZE 60	
FCU-7	1ST FLOOR	VERTICAL CABINET	500	20	0.1	20	13.95	1.7	80	67	54.4	53.8	4.32	8.44	45	55	WATER	4		53.2	60	158	4.32	7.5	180	155	WATER		97	120	1		TRANE SIZE 60	





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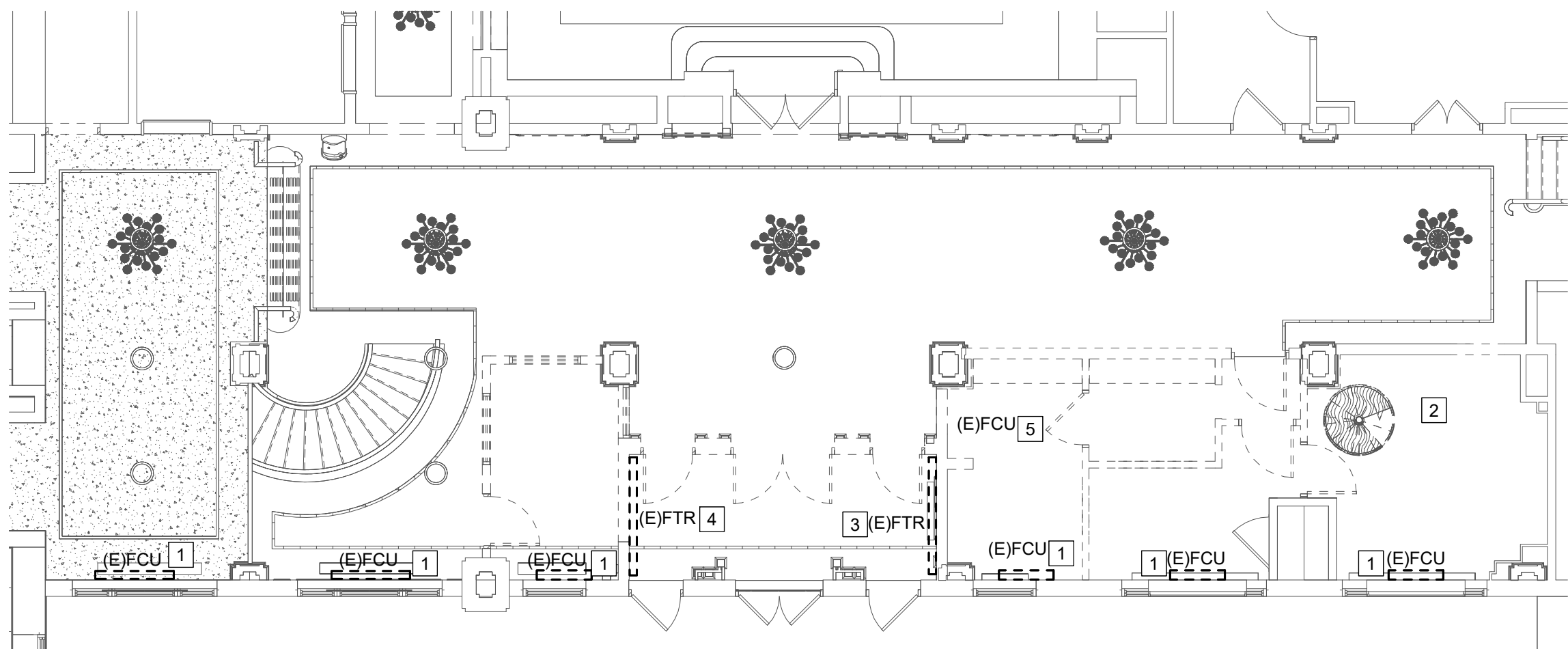
Drawn By:	C2 Architecture
Scale:	As Noted
Date:	04/19/2024
Job No:	2349
Sheet Title:	MECHANICAL REMOVAL AND RENOVATION PLAN
Sheet Number:	M101A

M101A DEMOLITION NOTES

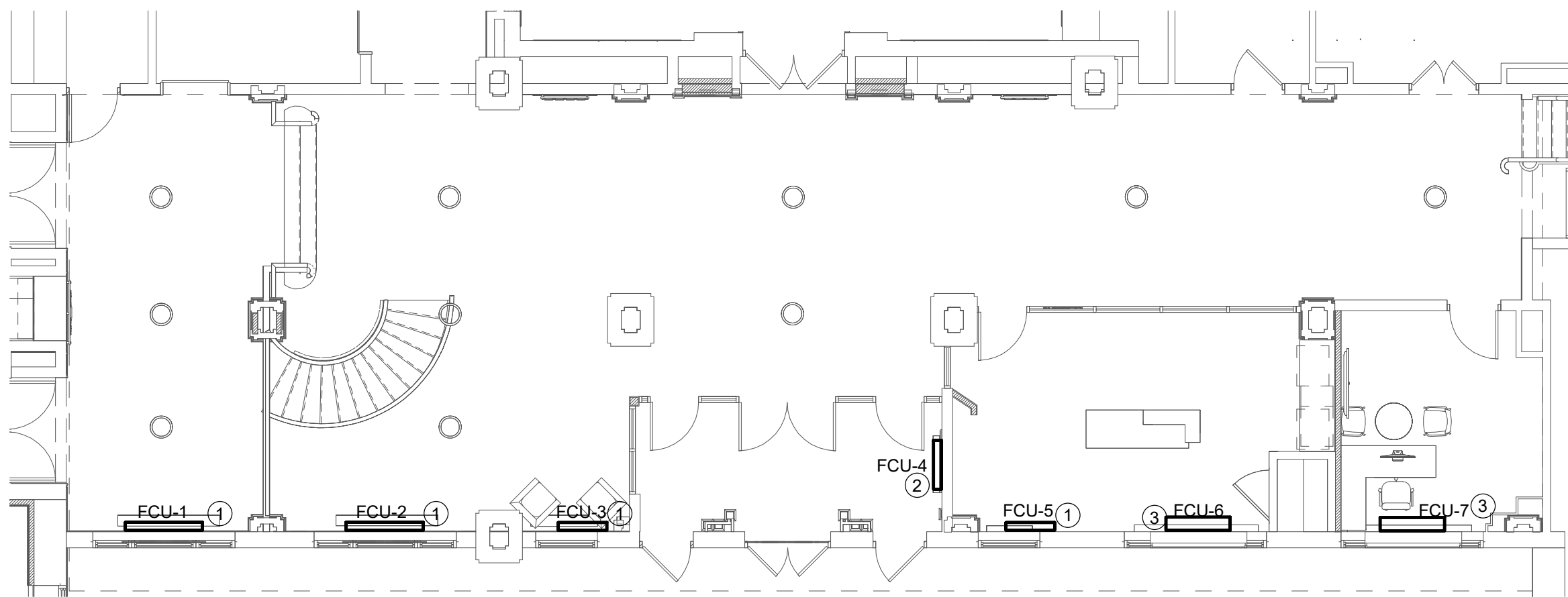
- 1 REMOVE (E)FCU. DISCONNECT DUAL TEMPERATURE SYSTEM PIPING FROM FAN COIL AND PREPARE ENDS FOR RECONNECTION.
- 2 REMOVE ABANDONED AIR HANDLING UNIT IN ATTIC SPACE OF THIS ROOM. REMOVE ALL ASSOCIATED DUCTWORK AND PIPING.
- 3 REMOVE (E)FTR. DISCONNECT DUAL TEMPERATURE SYSTEM PIPING FROM FIN TUBE RADIATION AND PREPARE ENDS FOR RECONNECTION.
- 4 REMOVE (E)FTR. DISCONNECT DUAL TEMPERATURE SYSTEM PIPING FROM FIN TUBE RADIATION AND CAP ENDS OF PIPING BELOW FLOOR LEVEL.
- 5 REMOVE (E)FCU. DISCONNECT DUAL TEMPERATURE SYSTEM PIPING FROM FAN COIL AND CAP ENDS.

M101A DRAWING NOTES

- 1 RECONNECT BACK TO DUAL TEMPERATURE SYSTEM PIPING.
- 2 RECONNECT BACK TO DUAL TEMPERATURE SYSTEM PIPING. PROVIDE 3/4" DRAIN LINE DOWN TO CONDENSATE DRAIN SYSTEM LOCATED IN BASEMENT.
- 3 PROVIDE 1" PIPING FROM MAINS IN BASEMENT UP TO FCU. INSTALL PER DETAIL AND CONNECT TO CAMPUS BMS.



1 HVAC LOBBY REMOVALS  
M101A SCALE: 1/8" = 1'-0"



2 HVAC LOBBY PLAN  
M101A SCALE: 1/8" = 1'-0"

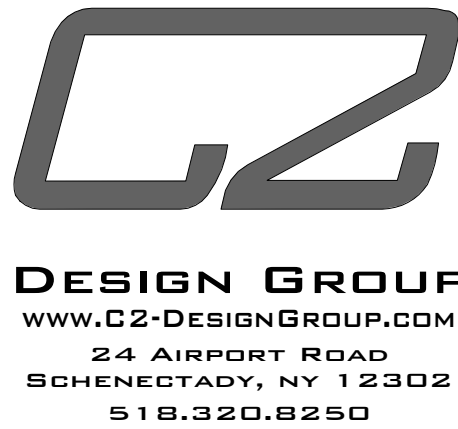


M101B DEMOLITION NOTES

- 1 MEASURE AND REMOVE EXISTING FLOOR GRILLE AT THIS LOCATION.
- 2 MEASURE AND REMOVE EXISTING LINEAR FLOOR GRILLE AT THIS LOCATION.
- 3 MEASURE AND REMOVE EXISTING LINEAR WALL GRILLE AT THIS LOCATION.
- 4 MEASURE AND REMOVE EXISTING LINEAR FLOOR GRILLE AT THIS LOCATION.

M101B DRAWING NOTES

- 1 PROVIDE TITUS CT-TAF-481 FLOOR GRILLE TO MATCH EXISTING FLOOR GRILLE DIMENSIONS. GRILLE COLOR TO MATCH FLOORING.
- 2 PROVIDE TITUS CT-TAF-L FLOOR GRILLE TO MATCH EXISTING FLOOR GRILLE DIMENSIONS. GRILLE COLOR TO MATCH FLOORING.
- 3 PROVIDE TITUS CT-TAF-L FLOOR GRILLE TO MATCH EXISTING WALL GRILLE DIMENSIONS. GRILLE TO MATCH WALL COLOR.
- 4 PROVIDE TITUS CT-TAF-L FLOOR GRILLE TO MATCH EXISTING FLOOR GRILLE DIMENSIONS. GRILLE TO MATCH FLOORING.



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SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK ROOMS  
RENOVATION

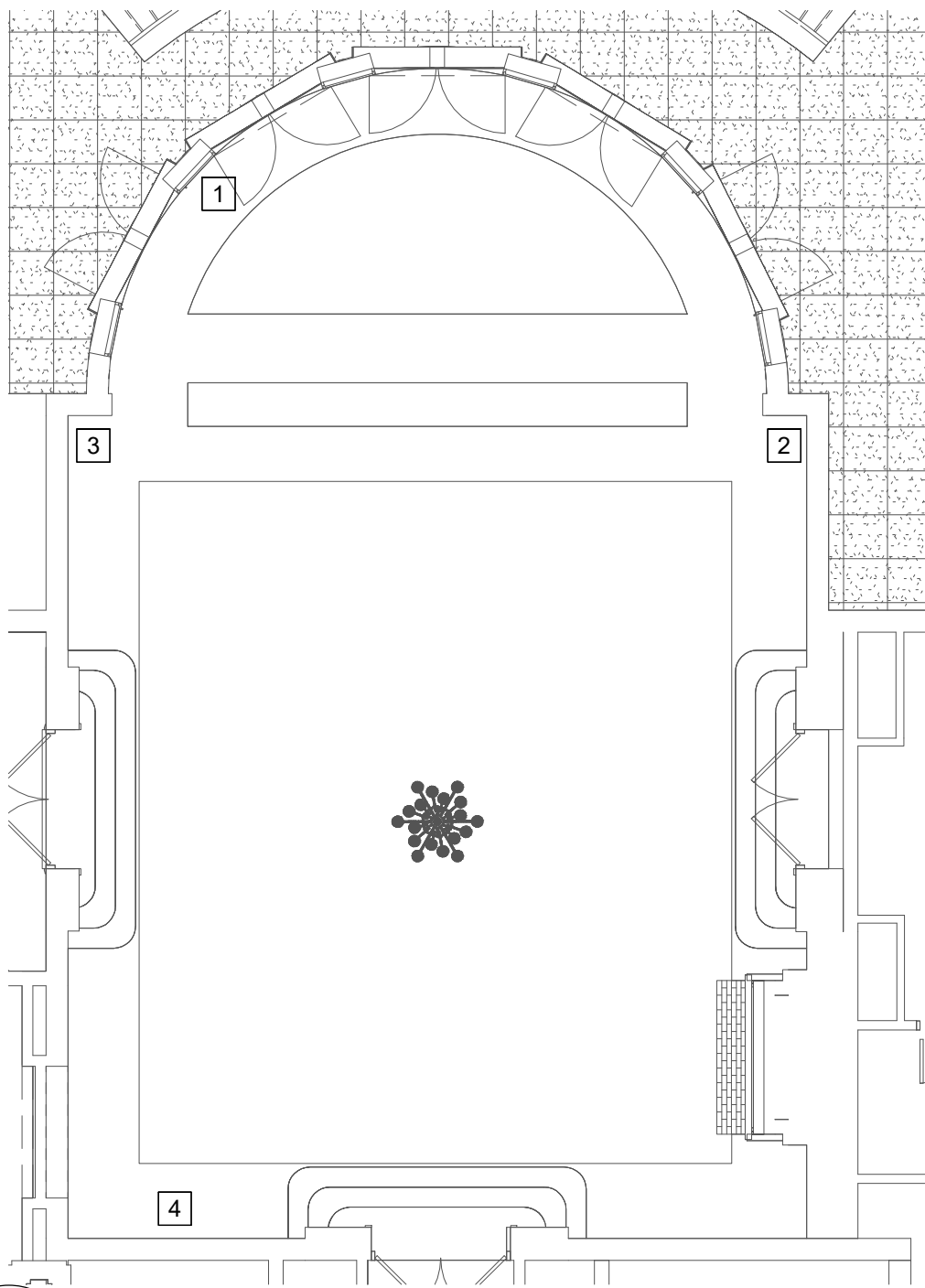
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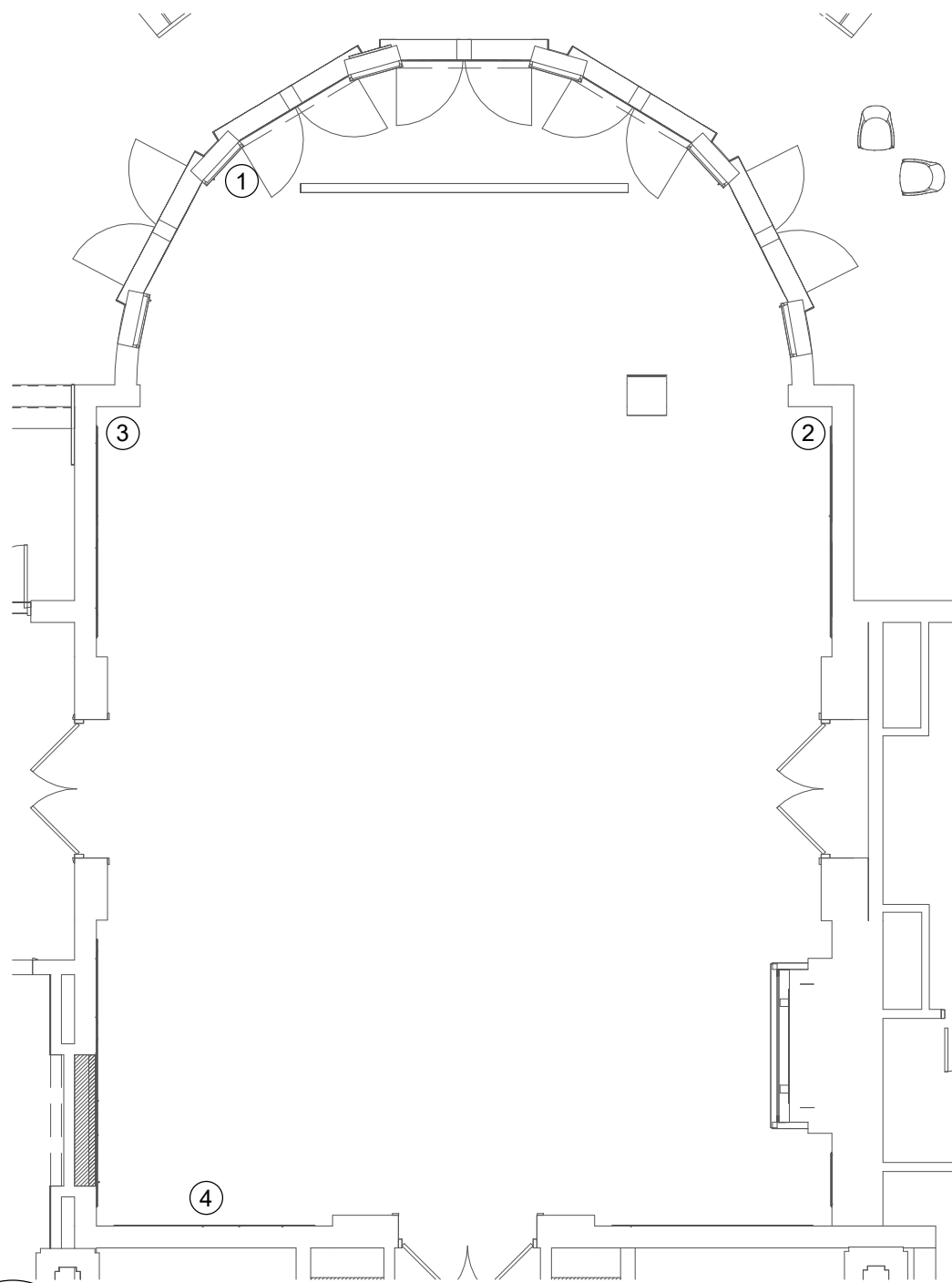
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Drawn By:	C2 Architecture
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Sheet Title:	MOHAWK ROOM HVAC PLANS - ALTERNATIVE #1
Sheet Number:	M101B

PLOT DATE: 4/29/2024 3:09:59 PM



1 HVAC MOHAWK ROOM REMOVALS  
M101B SCALE: 1/8" = 1'-0"



2 HVAC MOHAWK ROOM PLAN  
M101B SCALE: 1/8" = 1'-0"



GENERAL NOTES (APPLY TO ALL DRAWINGS):	
A.	PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TO PERFORM ALL OPERATIONS REQUIRED FOR THE COMPLETE INSTALLATION AND RELATED WORK AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN. ELECTRIC EQUIPMENT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER.
B.	PROVIDE ALL ELECTRICAL EQUIPMENT CONNECTIONS.
C.	PROVIDE ALL REQUIRED SUPPORTS AND ACCESSORIES.
D.	PROVIDE ALL WORK IN COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND THE LATEST EDITION OF THE: 1. BUILDING CODE OF NEW YORK STATE 2. ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE 3. OSHA REQUIREMENTS 4. LOCAL MUNICIPAL ORDINANCES AND CODES 5. AUTHORITY HAVING JURISDICTION (AHJ) 6. SERVING UTILITY COMPANIES
E.	PROVIDE ELECTRICAL INSPECTION CERTIFICATE FROM INSPECTION AGENCY RECOGNIZED AS ACCEPTABLE FROM THE AHJ.
F.	ALL RECEPTACLES INDICATED AS GFI TYPE MUST BE A GFI RECEPTACLE. CONNECTING NORMAL RECEPTACLES DOWNSTREAM OF ONE GFI RECEPTACLE IS NOT ACCEPTABLE. PROVIDE TEMPORARY ELECTRICAL SERVICE IN SIZES TO ACCOMMODATE CONSTRUCTION WHERE REQUIRED.
G.	REPAIR OR REPLACE ALL DEFECTS IN MATERIAL OR WORKMANSHIP WITHIN ONE YEAR OF CONSTRUCTION CLOSE OUT DATE AT NO ADDITIONAL COST TO THE OWNER.
H.	PERFORM ALL OPERATIONS REQUIRED FOR A COMPLETE SYSTEM TEST. PRIOR TO CLOSE OUT DATE SUBMIT ALL SATISFACTORY SYSTEM TEST RESULTS FOR RECORD.
J.	SUBMITTALS: 1. ALL ITEMS OF EQUIPMENT AND MATERIALS PROVIDED SHALL BE SUBMITTED FOR ENGINEERING REVIEW. 2. SUBMIT A MINIMUM OF THREE COPIES OF SHOP DRAWINGS/PRODUCT DATA INFORMATION.
K.	CONTRACTOR IS HERE BY CAUTIONED THAT ELECTRIC POWER CHARACTERISTICS (VOLTAGE, PHASE, HORSEPOWER, AMPERAGE, ETC.) OF EQUIPMENT IS BASED ON AVAILABLE INFORMATION AT THE TIME OF PROJECT DESIGN. CONTRACTOR MUST VERIFY CHARACTERISTICS FOR EACH PIECE OF NEW EQUIPMENT PRIOR TO ORDERING ELECTRICAL EQUIPMENT. INDICATE VERIFICATION ON SUBMITTALS.
L.	LOCATIONS INDICATED FOR LIGHTING FIXTURES ARE APPROXIMATE. LOCATE FIXTURES AS REQUIRED TO AVOID INTERFERENCE WITH BUILDING STEEL, PIPING, DUCTWORK, CONDUIT, DIFFUSERS, GRILLES, SPEAKERS, SMOKE DETECTORS, ETC. FIELD COORDINATE EXACT LOCATIONS AS NEAR AS POSSIBLE TO THE LOCATION INDICATED. VERIFY COMPLIANCE WITH NEC ARTICLE 410.16 FOR INSTALLATION OF LIGHT FIXTURES IN CLOTHES CLOSETS, PRIOR TO ROUGH-IN. REFER TO ARCHITECTURAL REFLECTED CEILING PLANS.
M.	EXACT LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, EXIT SIGNS, ETC. SHALL BE COORDINATED WITH OTHER CEILING MOUNTED EQUIPMENT TO AVOID CONFLICT. LOCATE DEVICES AS NEAR AS POSSIBLE TO THE LOCATION INDICATED. FIRE ALARM SMOKE AND HEAT DETECTORS SHALL BE LOCATED 3'-0" MINIMUM FROM HVAC DIFFUSERS, REGISTERS, GRILLES, ETC. SMOKE DETECTORS AT SMOKE DOORS MUST BE INSTALLED WITHIN 5'-0" OF THE DOORS (REFER TO NFPA 72).
N.	ALL NEW CIRCUITING SHALL BE CONCEALED (EXCEPT IN UNFINISHED SPACES). PROVIDE ALL CUTTING AND PATCHING AS REQUIRED.
O.	CONTRACTOR SHALL REVIEW ALL TRADES' CONTRACT DOCUMENTS TO DETERMINE SPECIFIC MOUNTING LOCATIONS FOR ELECTRICAL EQUIPMENT. COORDINATE EXACT MOUNTING LOCATIONS WITH THE ARCHITECT AND OTHER CONTRACTORS. REFER TO ARCHITECTURAL PLANS FOR CASEWORK LAYOUT, ELEVATIONS, ETC. COORDINATE WITH LOCATIONS OF ELECTRICAL DEVICES AND OUTLETS
P.	EXACT LOCATION OF MECHANICAL AND PLUMBING EQUIPMENT THAT REQUIRE ELECTRICAL CONNECTIONS ARE SHOWN ON THE MECHANICAL AND PLUMBING DRAWINGS.
Q.	PROVIDE CONDUIT/WIRING (CIRCUITING) AND REQUIRED CONNECTIONS TO ALL DEVICES/ EQUIPMENT. CONNECT TO CIRCUIT(S) AS INDICATED.
R.	COORDINATE ALL WORK WITH OTHER TRADES; REFER TO ARCHITECTURAL DRAWINGS FOR COORDINATING LOCATIONS.
S.	RE-INSTALL REMOVED SYSTEM DEVICES REMOVED AS A RESULT IN WALL, PARTITION OR CEILING REPLACEMENT WORK. PROVIDE POWER AND COMMUNICATION WALL AND PARTITION MOUNTED DEVICES AND RECONNECT TO EXISTING SYSTEMS. CLEAN EXISTING CEILING MOUNTED DEVICES. EXTEND EXISTING SYSTEM CIRCUITS AS REQUIRED FOR REINSTALLATION. COORDINATE WITH EXISTING SYSTEM MANUFACTURER.
T.	SLEEVE AND SEAL ALL WALL AND FLOOR PENETRATIONS. PROVIDE APPROPRIATE FIRE STOPPING FOR ALL PENETRATIONS.
U.	SHARED NEUTRAL SHALL NOT BE ALLOWED ON ANY BRANCH CIRCUITS. MAINTAIN SERVICE CLEARANCES OF ALL EQUIPMENT. ADVISE OTHER TRADES OF SERVICE CLEARANCES AND ENSURE NO SERVICES OR TRADES RUN THROUGH SERVICE AREA.
V.	ALL WIRING INDICATED ON PLANS IS TO BE COPPER WIRING UNLESS OTHERWISE NOTED.
W.	REFER TO ONE-LINE DIAGRAM. RATINGS TO MATCH THE RATING OF THE WALL/CEILING. UTILIZE FIRE RATED PUDDY PADS IN THESE LOCATIONS.
X.	REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING OF RECEPTACLES IN AND NEAR ALL MILLWORK AND CABINETRY.
Y.	THE CONTRACTOR MUST FOLLOW FEDERAL AND STATE ELECTRICAL SAFETY PRACTICE INCLUDING LOCK OUT TAG OUT (LOTO). THE CONTRACTOR MUST AFFIX THEIR COMPANY'S INDIVIDUAL LOTO LOCKS AND TAGS TO CONTROL HAZARDOUS ENERGIES AND TO PREVENT INJURIES.
Z.	PROVIDE SURFACE MOUNTED BOXES AND SURFACE METAL RACEWAY FOR ALL DEVICES INDICATED TO BE INSTALLED ON EXISTING WALLS, UNLESS OTHERWISE NOTED; COLOR TO MATCH EXISTING WALL.
AA.	PROVIDE RECESSED BOXES AND RACEWAYS FOR ALL DEVICES INDICATED TO BE INSTALLED ON NEW WALLS, UNLESS OTHERWISE NOTED.

ABBREVIATIONS	
ABBREV.	DESCRIPTION
A	AMPERE
AC	MOUNTED ABOVE COUNTER HEIGHT
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AIC	AMPERE INTERRUPTING CURRENT
AL	ALUMINUM
ASD	ADJUSTABLE SPEED DRIVE
ATS	AUTOMATIC TRANSFER SWITCH
AV	AUDIO VISUAL
AWG	AMERICAN WIRE GAUGE
C	CONDUIT
CU	COPPER
EC	ELECTRICAL CONTRACTOR/TRADE
FACP	FIRE ALARM CONTROL PANEL
G	GROUND
GC	GENERAL CONTRACTOR/TRADE
GEN	GENERATOR
GFCI/GFI	GROUND FAULT CIRCUIT INTERRUPTER
HH	HAND HOLE
HP	HORSE POWER
HVAC	HEATING, VENTILATION & AIR CONDITIONING CONTRACTOR/TRADE
JB	JUNCTION BOX
KV	KILOVOLT
KVA	KILOVOLT AMPERES
KW	KILOWATT
LED	LIGHT EMITTING DIODE
MCB	MAIN CIRCUIT BREAKER
MLO	MAIN LUG ONLY
MTS	MANUAL TRANSFER SWITCH
NA	NOT APPLICABLE
NC	NORMALLY CLOSED
NEC	NATIONAL ELECTRIC CODE
NIC	NOT IN CONTRACT
NL	NIGHT LIGHT
NTS	NOT TO SCALE
P	POLE
SMR	SURFACE METAL RACEWAY
SPEC	SPECIFICATION
TYP	TYPICAL
UC	MOUNTED UNDER COUNTER HEIGHT
UL	UNDERWRITER'S LABORATORY
V	VOLT
W	WIRE/WATT
WP	WEATHERPROOF

BRANCH CIRCUITING IDENTIFICATION	
	<div>CIRCUIT DESIGNATION</div> <div>SWITCH LEG</div> <div>NIGHT LIGHT</div> <div>FIXTURE TYPE</div> <div>CIRCUIT DESIGNATION</div>
	<div>CENTER OF DEVICE BOX AFF &amp; MISC INFO</div>
	<div>ITEM DESIGNATION, SEE ELECTRICAL EQUIPMENT AND CONTROL SCHEDULE FOR CONNECTION AND CIRCUIT DESIGNATION INFORMATION.</div>
NOTES: 1. TYPICAL FOR ALL FIXTURES DEVICES & EQUIPMENT. 2. PANEL DESIGNATION WILL BE REFERENCED BY DRAWING NOTE FOR INDIVIDUAL ROOMS. SEE DRAWING NOTES ON EACH PLAN DRAWING.	

BASIC MATERIALS AND METHODS	
(E)	EXISTING TO REMAIN - INDICATES EXISTING ITEM SHALL REMAIN. MAINTAIN EXISTING ELECTRICAL CONNECTIONS UNLESS OTHERWISE NOTED.
(ER)	EXISTING TO BE RELOCATED - INDICATES EXISTING ITEM SHALL BE RELOCATED. DISCONNECT AND REMOVE, REINSTALL AT NEW LOCATION AND RECONNECT ITEM AS REQUIRED.
	EXISTING ELECTRICAL WIRING, EQUIPMENT OR DEVICE. DASHED LIGHT IS EXISTING TO BE REMOVED OR RELOCATED
	HEAVY SOLID IS NEW
	REFERENCE TO DRAWING NOTE
	REFERENCE TO REMOVAL NOTE
	JUNCTION BOX
	SPECIAL PURPOSE RECEPTACLE. PROVIDE PROPER VOLTAGE, CLASS, CURRENT RATING AND NEMA CONFIGURATION AS REQUIRED BY BRANCH CIRCUIT AND/OR MATCH CAP ON EQUIPMENT BEING FURNISHED BY OTHERS. PROVIDE CORD AND CAP.
	DUPLEX RECEPTACLE, 20 AMP, 125 VOLT SUBSCRIPTS INDICATE TYPE: OC - OVER THE COUNTER UC - UNDER THE COUNTER WP - WEATHER PROOF GFI - GROUND FAULT INTERRUPTER USB - UNIVERSAL SERIAL BUS
	QUAD RECEPTACLE 20 AMP, 125 VOLT
	TOGGLE SWITCH, VOLTAGE AS INDICATED ON FIXTURE SCHEDULE. SUBSCRIPTS INDICATE TYPE: 3 - THREE WAY SWITCH 4 - FOUR WAY SWITCH K - KEYED SWITCH LV - LOW VOLTAGE, MOMENTARY CONTACT OS - OCCUPANCY SENSOR VS - VACANCY SENSOR a,b,c - SWITCHING DESIGNATIONS NUMBER OF LETTERS EQUALS NO. OF GANGED SWITCHES
	CEILING MOUNTED VACANCY SENSOR
	CEILING MOUNTED OCCUPANCY SENSOR
	FLUSH POKE THROUGH FLOOR MOUNTED COMBINATION POWER AND DATA DROP.
	DIMMER WITH ON/OFF SWITCH

POWER DISTRIBUTION AND CONTROL	
	208Y/120 VOLT PANELBOARD.
	EQUIPMENT CONNECTION. REFER TO ELECTRIC EQUIPMENT AND CONTROL SCHEDULE FOR DESCRIPTION. LETTERS AND NUMBERS INDICATE "ITEM DESIGNATION" ON THE SCHEDULE.
	SINGLE POINT CONNECTION TO EQUIPMENT, SEE DRAWING NOTES FOR REQUIREMENTS. SUBSCRIPT INDICATES ASSOCIATED EQUIPMENT/DEVICE: C - COOK TOP H - RANGE HOOD

FIRE ALARM	
	SMOKE DETECTOR
	MANUAL PULL STATION
	WALL MOUNTED COMBINATION HORN AND STROBE # INDICATES STROBE CANDELA
	WALL MOUNTED STROBE ONLY # INDICATES STROBE CANDELA
	COMBINATION SET TEMPERATURE AND RATE OF RISE HEAT DETECTOR
	FIRE ALARM CONTROL PANEL

ONE LINE DIAGRAM SYMBOLS	
	FUSED DISCONNECT SWITCH
	THERMAL MAGNETIC MOLDED CASE CIRCUIT BREAKER
	TRANSFORMER, SIZE AND TYPE AS INDICATED
	GROUND CONNECTION
	FEEDER DESIGNATION. REFER TO FEEDER SCHEDULE
	SURGE PROTECTIVE DEVICE
	MANUAL TRANSFER SWITCH
	GENERATOR
	PANELBOARD SYMBOL <div>PANEL NAME</div> <div>PANEL DESIGNATION: CB-1, 3ø, 480V, 100A, MLO</div> <div>PHASE, AMPACITY, AND MLO/MCB</div>
	SOLID STATE TRIP BREAKER

SYSTEMS	
	TELE/DATA OUTLET ONLY. PROVIDE BACKBOX AND 1" CONDUIT STUBBED TO ABOVE ACCESSIBLE CEILING SPACE. SUBSCRIPT INDICATES TYPE AND/OR QUANTITY: T=TELEPHONE (MOUNT 48" AFF). AC=ABOVE COUNTER #D=QUANTITY OF DATA PORTS. IF NO QUANTITY IS INDICATED, PROVIDE (2).
	COMBINATION POWER AND TELE/DATA OUTLETS; REFER TO TYPICAL POWER AND TELE/DATA OUTLET DETAIL. SUBSCRIPT INDICATES QUANTITY: #P=QUANTITY OF DUPLEX RECEPTACLES. #D=QUANTITY OF DATA PORTS. IF NO QUANTITY IS INDICATED, PROVIDE (2).
	FLOOR BOX
	TELEVISION OUTLET; REFER TO TYPICAL COMBINATION POWER AND TELEVISION OUTLET DETAIL.
	WIRELESS ACCESS POINT. PROVIDE (1) CAT6 CABLE FROM IT ROOM. (ACCESS POINT PROVIDED BY OTHERS).
	VIDEO PROJECTOR (MOUNT AND PROJECTOR PROVIDED BY OTHERS). PROVIDE (1) FLUSH MOUNTED DUPLEX RECEPTACLE.
	SECURITY CAMERA, DEVICE AND WIRING BY OTHERS
	CARD READER, DEVICE AND WIRING BY OTHERS

LUMINARIES	
	CEILING MOUNTED LUMINAIRE. UPPERCASE LETTERS INDICATE FIXTURE TYPE ON LUMINAIRE SCHEDULE. LOWER CASE LETTER INDICATE LIGHTING ZONE
	WALL MOUNTED LUMINAIRE. UPPERCASE LETTERS INDICATE FIXTURE TYPE ON LUMINAIRE SCHEDULE. LOWER CASE LETTER INDICATE LIGHTING ZONE
	LUMINAIRE PROVIDED WITH INTEGRAL 90-MINUTE BATTERY BACKUP. SUBSCRIPT INDICATES TYPE: NL - EMERGENCY LUMINAIRE ILLUMINATED AT ALL TIMES AND NOT CONTROLLED.
	WALL MOUNTED EMERGENCY LUMINAIRE WITH BATTERY PACK
	CEILING MOUNTED EXIT LUMINAIRE
	WALL MOUNTED EXIT LUMINAIRE
	REMOTE LED LIGHTING DRIVER

GENERAL FIRE ALARM NOTES (APPLY TO ALL DRAWINGS):	
A.	THE CONTRACTOR SHALL PROVIDE A COMPLETE TEST OF THE EXISTING SYSTEM PRIOR TO MAKING MODIFICATIONS TO ASSESS THE CONDITION AND CAPABILITY OF DEVICES AND CIRCUITS TO BE REUSED. WHERE POSSIBLE, THE CONTRACTOR SHALL HAVE THE OPTION TO REUSE EXISTING DEVICES, BOXES AND WIRING.
B.	IN GENERAL, EXISTING INITIATION AND NOTIFICATION APPLIANCE CIRCUITS SHALL BE RETAINED AND EXTENDED TO THE NEW CONTROL PANEL FOR DEVICES IN AREAS UNTESTED BY THE SCOPE OF WORK. NEW DEVICES SHALL BE TIED INTO EXISTING CIRCUITS, OR NEW CIRCUITS SHALL BE PROVIDED AS REQUIRED TO PROVIDE A COMPLETE SYSTEM AS INDICATED.
C.	ALL WIRING SHALL BE COPPER, INSTALLED IN A DEDICATED/SEGREGATED EMT CONDUIT SYSTEM AND SHALL CONFORM TO THE NEC AND TO NFPA-72, NATIONAL FIRE ALARM CODE. INSTALL IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
D.	THE COMPLETE FIRE ALARM SYSTEM SHALL BE FULLY TESTED AFTER THE WORK IS COMPLETE. TESTING SHALL INCLUDE ALL DEVICES, CONTROL PANEL, ANNUNCIATOR PANEL, OTHER PANELS, FEATURES AND FUNCTIONS. TESTING SHALL BE WITNESSED BY THE OWNER'S REPRESENTATIVE AND BE IN ACCORDANCE WITH THE NFPA. PROVIDE A TESTING REPORT TO THE AHJ AND THE ENGINEER AS A SUBMITTAL. REFER TO SPECIFICATION SECTION 283103.

GENERAL REMOVAL NOTES (APPLY TO ALL DRAWINGS):	
A.	DISCONNECT AND REMOVE ALL EXISTING ELECTRICAL EQUIPMENT SHOWN TO BE REMOVED, OR REQUIRED TO BE REMOVED AS A RESULT OF EQUIPMENT/BUILDING DEMOLITION WORK. COORDINATE REQUIREMENT WITH GENERAL CONTRACTOR. REMOVE ALL ASSOCIATED BRANCH CIRCUIT AND CONTROL WIRING AND RACEWAYS. WHERE EXISTING DEVICES ARE NOT BEING REUSED, THEY AND THEIR ASSOCIATED WIRING SHALL BE COMPLETELY REMOVED BACK TO THEIR SOURCES (UNLESS OTHERWISE NOTED). DISCONNECT AND REMOVE ALL EMPTY AND ABANDONED RACEWAYS. CUT FLUSH WITH FLOOR OR WALL WHERE APPLICABLE AND PLUG CONDUIT WATERTIGHT. SEE FRONT END SPECS FOR "HOT WORK PERMIT" REQUIREMENTS.
B.	EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATIONS AND PRIOR CONSTRUCTION DOCUMENTS WHEN AVAILABLE AND ARE NOT GUARANTEED ACCURATE. EC SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID.
C.	COORDINATE ALL WORK WITH OTHER TRADES. ANY WORK PREFORMED TO DUE TO LACK OF COORDINATION SHALL BE PREFORMED AT THE CONTRACTOR'S EXPENSE WITH NO COST TO THE OWNER.
D.	CUTTING, PATCHING AND FIRESTOPPING OF EXISTING BUILDING FINISHES AND ELEMENTS TO FACILITATE ELECTRICAL REMOVAL WORK SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
E.	PROVIDE A TEST PRIOR TO THE BEGINNING ELECTRICAL REMOVAL WORK. OF EACH AND EVERY SYSTEM AFFECTED BY THE WORK TO ASCERTAIN AND DOCUMENT PRE-CONSTRUCTION CONDITIONS OF EACH INDIVIDUAL DEVICE ON EACH SYSTEM. SYSTEMS AND DEVICES WHICH ARE UNTESTED WILL BE ASSUMED TO BE IN PERFECT WORKING ORDER PRIOR TO THE BEGINNING OF CONSTRUCTION. TEST THESE AND NEW DEVICES AND SYSTEMS AFTER CONSTRUCTION TO INDICATE AND DOCUMENT POST-CONSTRUCTION CONDITIONS. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR RETURNING ALL EXISTING SYSTEMS AND DEVICES TO PRE-CONSTRUCTION CONDITION OR BETTER. OBTAIN THE SERVICES OF A CERTIFIED TESTING ORGANIZATION TO TEST AND DOCUMENT EACH SYSTEM, BOTH PRE AND POST CONSTRUCTION. SUCH SYSTEMS SHALL INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO: HVAC, WWTP PROCESS, GENERATOR, DISTRIBUTION SYSTEM, SECURITY ACCESS CONTROL SYSTEM, PUBLIC ADDRESS SYSTEM, LOCAL AREA NETWORK SYSTEM, TELEPHONE SYSTEM, EMERGENCY EGRESS LIGHTING SYSTEM, INTRUSION DETECTION SYSTEMS, AUTOMATIC LIGHTING CONTROL SYSTEM AND FIRE ALARM SYSTEM. SUBMIT TEST RESULTS TO OWNER AND ENGINEER FOR REVIEW AND APPROVAL.

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SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK  
RENOVATIONS

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No.	REVISION #	DATE:

**Drawn By:** C2 Architecture

**Scale:** As Noted

**Date:** 04/19/2024

**Job No:** 2349

**Sheet Title:**

ELECTRICAL LEGEND &  
ABBREVIATIONS

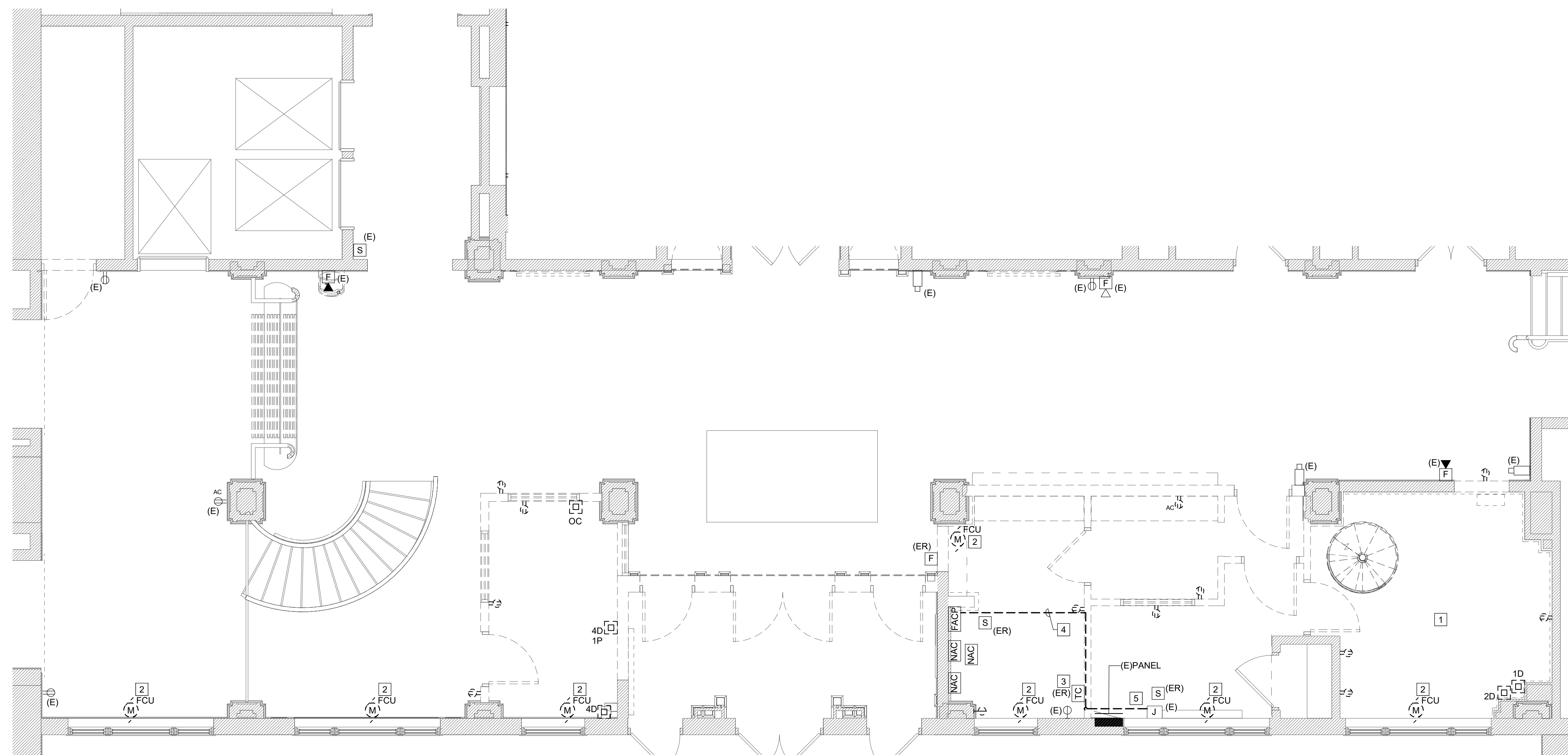
**Sheet Number:**

E001



- A. REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND DEVICES THAT ARE INDICATED TO BE REMOVED (SHOWN DASHED). UNLESS OTHERWISE NOTED, REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING BACK TO SOURCE. MAINTAIN AND PROTECT ALL EQUIPMENT AND DEVICES THAT ARE INDICATED TO REMAIN.
- B. MAINTAIN EXISTING RECEPTACLE CIRCUITS WITH REMOVALS OF RECEPTACLES FOR RECONNECTION.

- 1 DISCONNECT EXISTING MEZZANINE MECHANICAL EQUIPMENT BACK TO SOURCE WITH REMOVALS, DISCONNECT AND REMOVE ASSOCIATED DISCONNECTS.
- 2 DISCONNECT EXISTING FCU WITH REMOVAL OF FCU, MAINTAIN EXISTING FCU CIRCUIT FOR RECONNECTION.
- 3 PRIOR TO RELOCATION VERIFY TIMECLOCK IS STILL OPERATIONAL. IF TIMECLOCK IS FOUND TO BE OPERATIONAL MAINTAIN EXISTING WIRING FOR RECONNECTION. IF TIMECLOCK IS FOUND TO BE NO LONGER OPERATIONAL, DISCONNECT AND TURN OVER TO THE OWNER.
- 4 EXISTING FIRE ALARM CONDUIT AND WIRING FROM EXISTING JUNCTION BOX. DISCONNECT AND REMOVE EXISTING FIRE ALARM CONDUIT, MAINTAIN EXISTING WIRING FOR RECONNECTION AND REROUTING. EXISTING JUNCTION BOX TO REMAIN.
- 5 EXISTING EXPOSED CABLING NEXT TO EXISTING PANEL SHALL BE MAINTAINED THROUGH CONSTRUCTION. EXISTING TELEPHONE CABLING ABANDONED IN PLACE SHALL BE REMOVED.



1 ELSTON HALL LOBBY POWER & SYSTEMS REOMVALS PLAN  
ER101A SCALE: 1/4" = 1'-0"



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LOBBY & MOHAWK  
RENOVATIONS

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Drawn By: C2 Architecture

Scale:	As Noted
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Date: 04/19/2024

Job No:	2349
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Sheet Title:

ELSTON HALL LOBBY

POWER AND SYSTEMS

## REMOVALS PLAN

Sheet Number:

EP101A

EROTICA

PLOT DATE: 4/29/2024 3:05:16 PM

PLOT DATE: 4/29/2024 3:05:16 PM



GENERAL NOTES:

- A. REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND DEVICES THAT ARE INDICATED TO BE REMOVED (SHOWN DASHED). UNLESS OTHERWISE NOTED, REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING BACK TO SOURCE. MAINTAIN AND PROTECT ALL EQUIPMENT AND DEVICES THAT ARE INDICATED TO REMAIN.

ER101B REMOVALS NOTES

1. DISCONNECT AND REMOVE RECEPTACLE. MAINTAIN EXISTING CIRCUIT FOR RECONNECTION.  
2. DISCONNECT SPEAKER AND TURNOVER TO OWNER.  
3. DISCONNECT AV BOX AND TURNOVER TO OWNER.



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SUNY SCCC ELSTON HALL  
LOBBY & MOHAWK  
RENOVATIONS

78 Washington Ave    Schenectady, NY 12305

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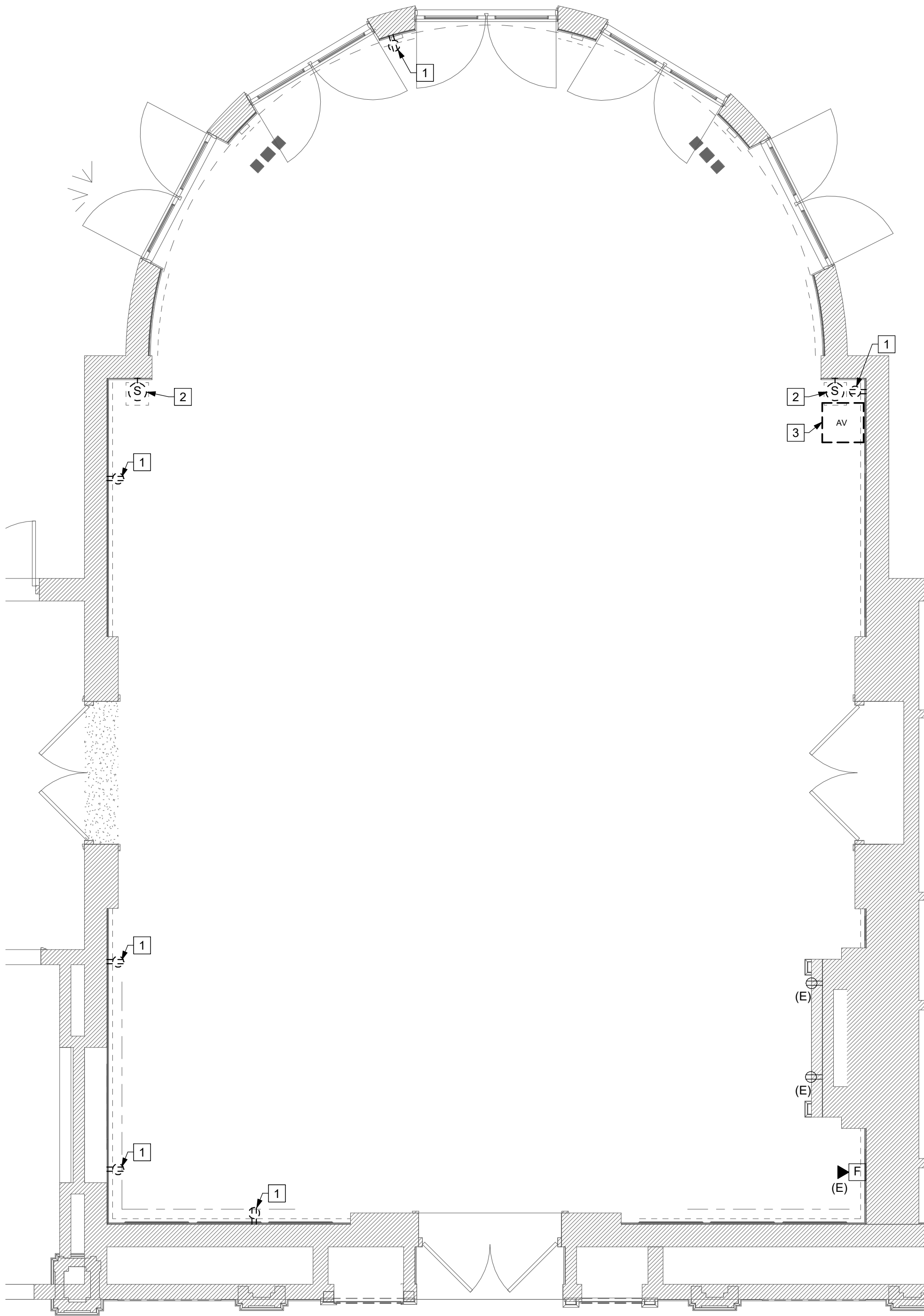
Job No: 2349

Sheet Title:  
MOHAWK ROOM  
ELECTRICAL REMOVALS  
PLAN

Sheet Number:

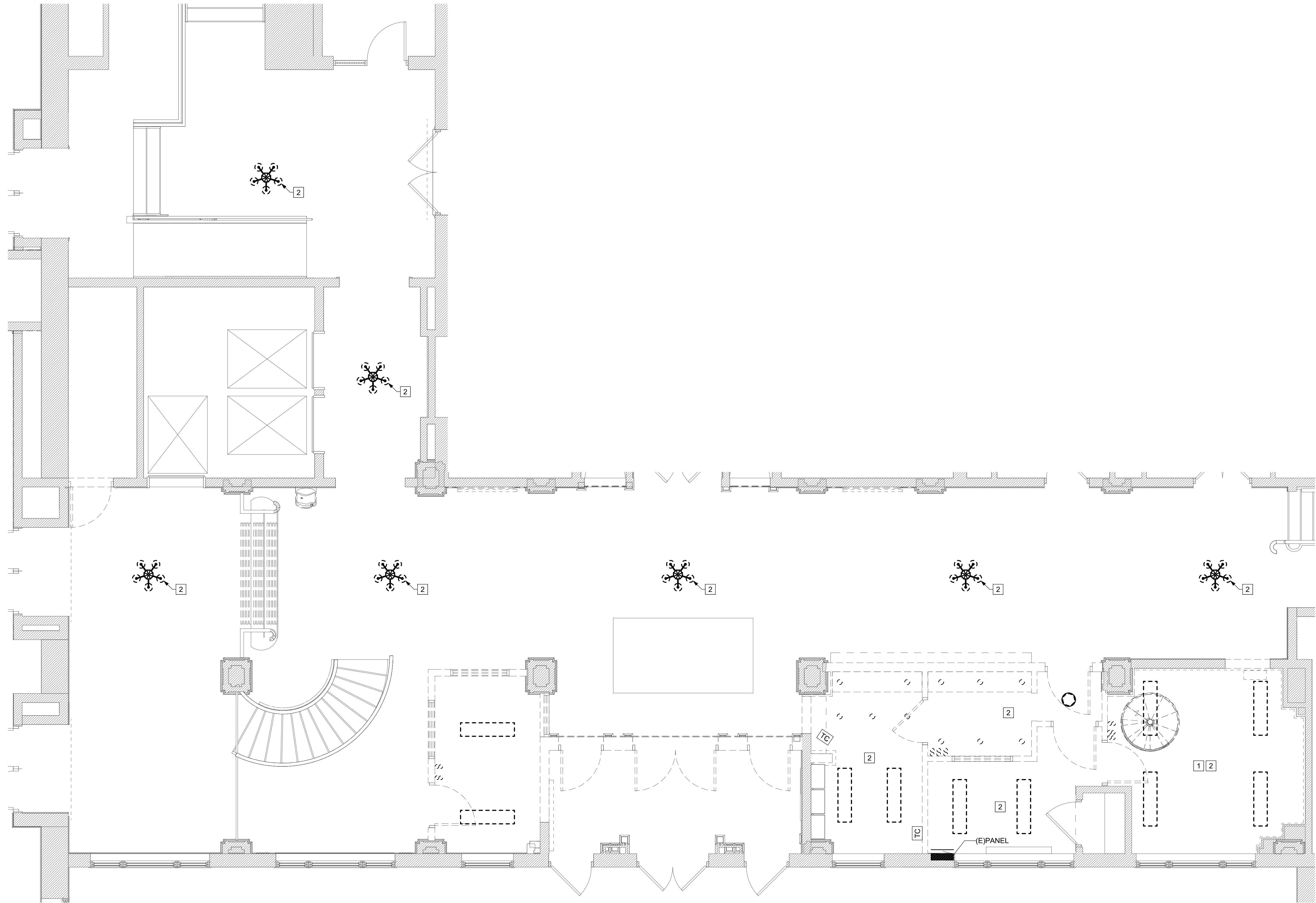
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1 ELECTRICAL REMOVALS MOHAWK ROOM - ALTERNATE #1  
ER101B SCALE: 1/4" = 1'-0"





**1** LOBBY AND OFFICES LIGHTING REMOVALS PAN  
ER201A SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

- A. REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND DEVICES THAT ARE INDICATED TO BE REMOVED (SHOWN DASHED). UNLESS OTHERWISE NOTED, REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING BACK TO SOURCE. MAINTAIN AND PROTECT ALL EQUIPMENT AND DEVICES THAT ARE INDICATED TO REMAIN.
- B. MAINTAIN EXISTING LIGHTING CIRCUITS FOR RECONNECTION.

**ER201A REMOVALS NOTES**

- 1 DISCONNECT AND REMOVE EXISTING LIGHT FIXTURES IN MEZZANINE.
- 2 MAINTAIN EXISTING LIGHTING CIRCUIT AND CONTROLS FOR RECONNECTION.



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Sheet Title:

ELSTON HALL LOBBY  
LIGHTING FLOOR PLAN

Sheet Number:

ER201A

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GENERAL NOTES:

- A. MAINTAIN EXISTING LIGHTING CIRCUITS FOR RECONNECTION.
- B. REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND DEVICES THAT ARE INDICATED TO BE REMOVED (SHOWN DASHED), UNLESS OTHERWISE NOTED. REMOVE ASSOCIATED BRANCH CIRCUIT CONDUIT AND WIRING BACK TO SOURCE. MAINTAIN AND PROTECT ALL EQUIPMENT AND DEVICES THAT ARE INDICATED TO REMAIN.



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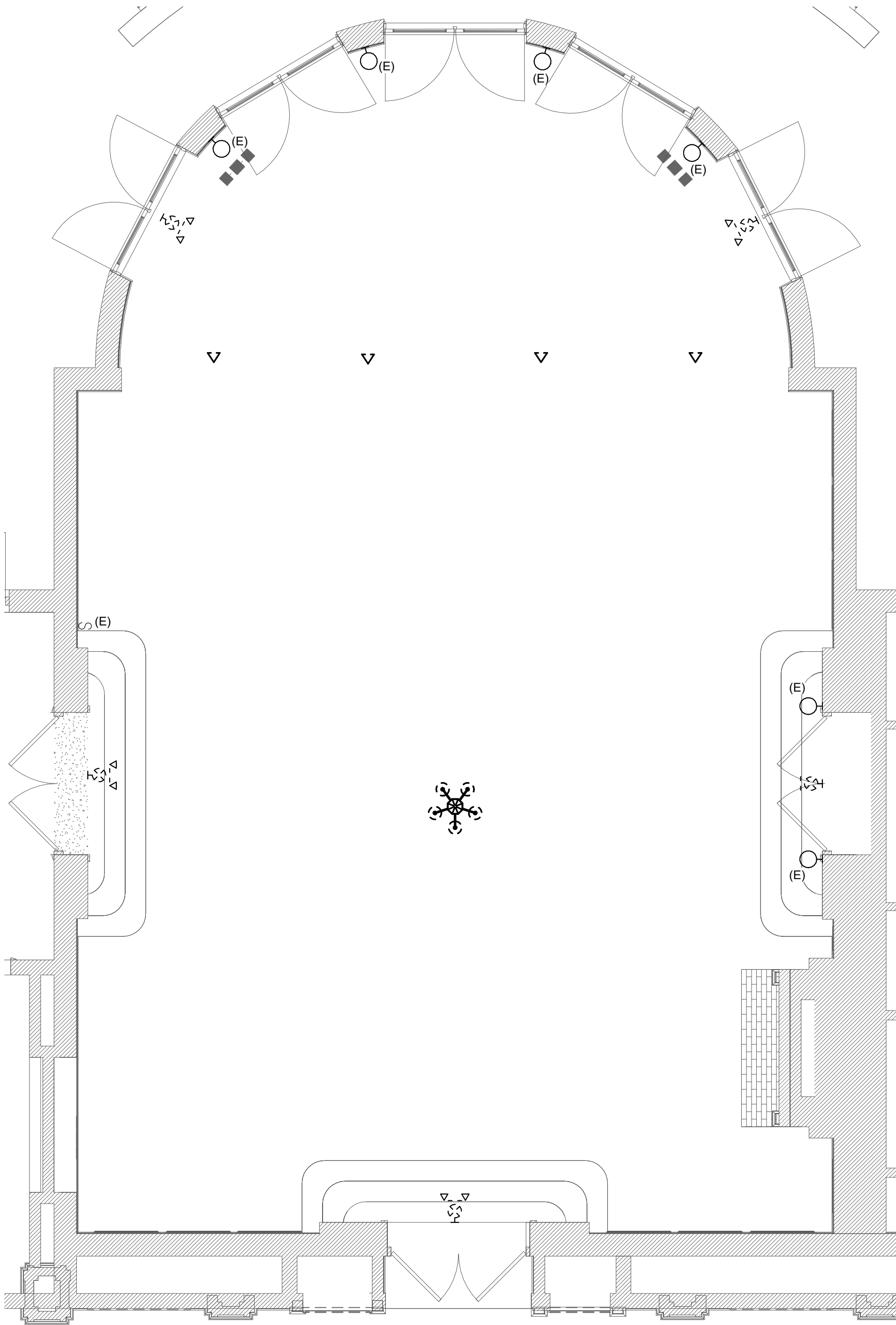
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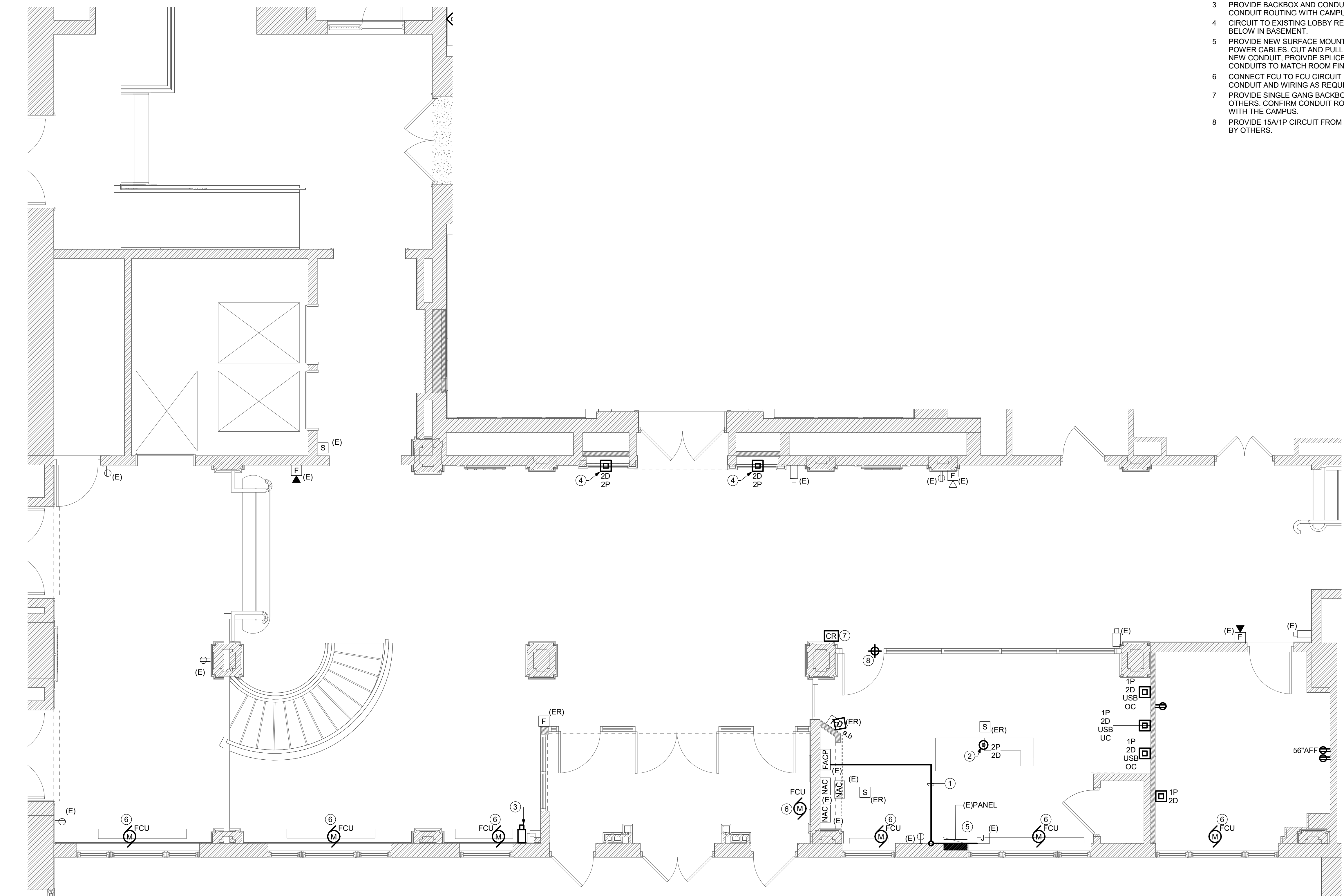
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Sheet Title:	MOHAWK ROOM LIGHTING REMOVALS PLAN
Sheet Number:	ER201B



1 MOHAWK ROOM LIGHTING REMOVALS PLAN - ALTERNATE #1  
ER201B SCALE: 1/4" = 1'-0"





1  
E101A LOBBY AND OFFICES POWER & SYSTEMS PLAN  
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A. CONNECT RECEPTACLES TO EXISTING RECEPTACLE CIRCUITS MAINTAINED WITH REMOVALS. MINIMUM CIRCUIT WIRING SHALL BE (2)#12 & (1)#12G IN 3/4" CONDUIT.  
B. ROUTE CONDUITS FOR DATA DROPS DOWN INTO THE BASEMENT TO A JUNCTIN BOX LOCATED IN AN ACCESSIBLE LOCATION. VERIFY AND COORDINATE EXACT ROUTING IN FIELD WITH THE CAMPUS.

E101A DRAWING NOTES

1. ROUTE EXISTING FIRE ALARM WIRING MAINTAINED WITH REMOVALS IN NEW 3/4" CONDUIT. ROUTE CONDUIT TIGHT TO WALL AND UP TO ABOVE NEW CEILING. PAINT CONDUIT TO MATCH SURFACE WHERE EXPOSED. SPLICE AND EXTEND WIRING AS REQUIRED.  
2. PROVIDE CONDUIT FOR CIRCUITING AND DATA FROM BELOW IN BASEMENT.  
3. PROVIDE BACKBOX AND CONDUIT FOR NEW CAMERA, CONFIRM EXACT LOCATION AND CONDUIT ROUTING WITH CAMPUS IN FIELD.  
4. CIRCUIT TO EXISTING LOBBY RECEPTACLE CIRCUIT. ROUTE ASSOCIATED CONDUITS BELOW IN BASEMENT.  
5. PROVIDE NEW SURFACE MOUNTED CONDUITS FOR EXISTING COMMUNICATIONS AND POWER CABLES. CUT AND PULL BACK CABLES WHERE REQUIRED TO PULL THROUGH NEW CONDUIT. PROVIDE SPLICE BOX AND SPLICES AS REQUIRED IN BASEMENT. PAINT CONDUITS TO MATCH ROOM FINISH.  
6. CONNECT FCU TO FCU CIRCUIT MAINTAINED WITH REMOVALS. SPLICE AND EXTEND CONDUIT AND WIRING AS REQUIRED.  
7. PROVIDE SINGLE GANG BACKBOX AND CONDUIT FOR CARD READER AND WIRING BY OTHERS. CONFIRM CONDUIT ROUTING AND FINAL CARD READER LOCATION IN FIELD WITH THE CAMPUS.  
8. PROVIDE 15A/1P CIRCUIT FROM EXISTING SERUCITY ROOM PANEL TO SECURITY DEVICE BY OTHERS.



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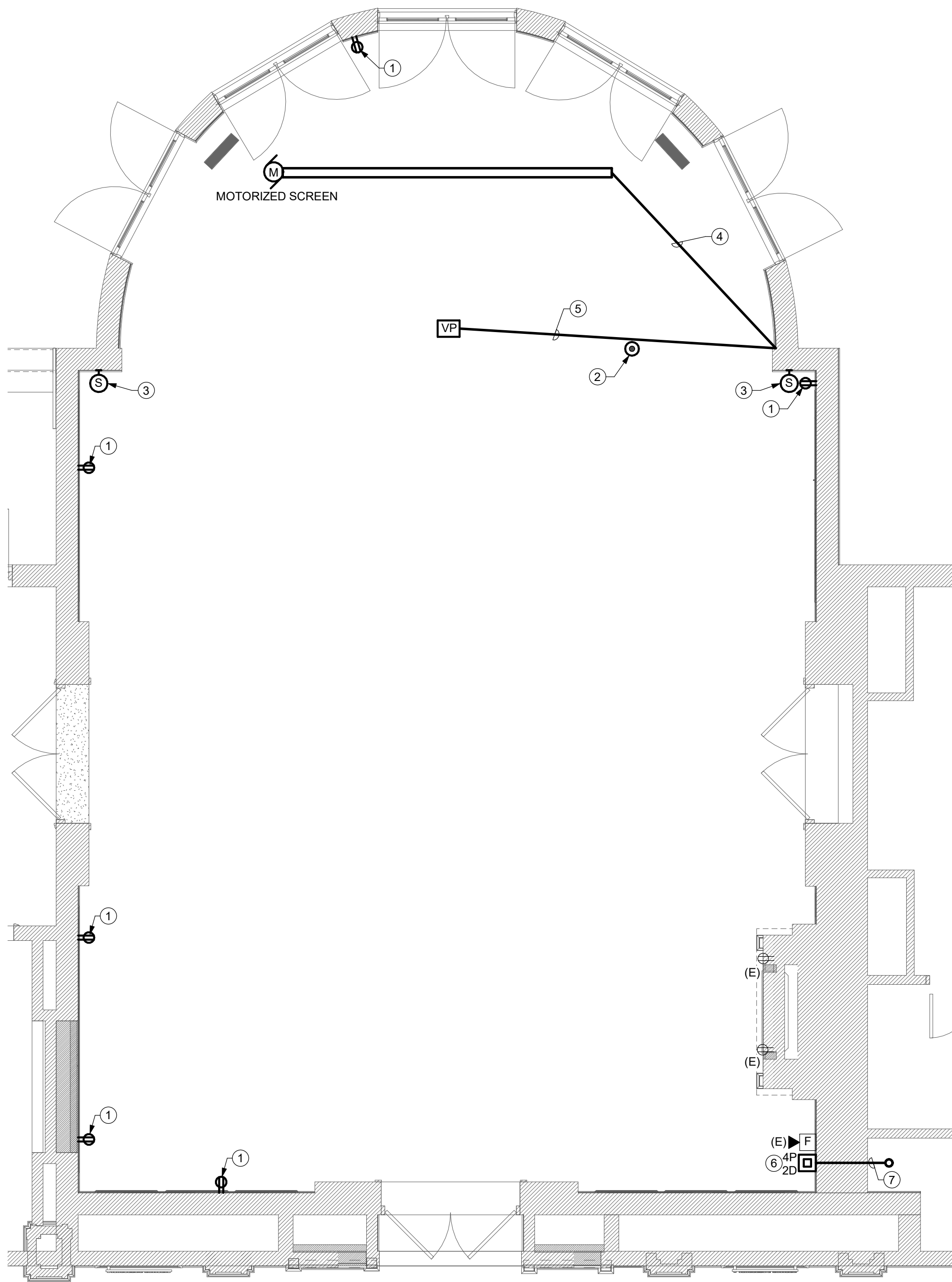
Sheet Title:  
ELSTON HALL LOBBY  
POWER AND SYSTEMS  
PLAN

Sheet Number:

E101A

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1 MOHAWK ROOM POWER & SYSTEMS PLAN  
E101B SCALE: 1/4" = 1'-0"

GENERAL NOTES:

A. MINIMUM CIRCUIT WIRING SHALL BE (2)#12 & (1)#12G IN 3/4" CONDUIT.

E101B DRAWING NOTES

- 1 PROVIDE RECESSED RETROFIT RECEPTACLE IN EXISTING PLASTER WALL. PROVIDE MC CABLE UP FROM BASEMENT TO CIRCUIT RECEPTACLE. CONNECT TO EXISTING RECEPTACLE CIRCUIT MAINTAINED WITH REMOVALS.
- 2 PROVIDE 2 GANG POKE THROUGH FLOORBOX FOR AV AND POWER. COORDINATE EXACT REQUIREMENTS WITH AV VENDOR. FINAL LOCATON SHALL BE DETERMINED IN FIELD WITH AV VENDOR AND OWNER'S REPRESENTATIVE. CIRCUIT TO NEAREST EXISTING MOHAWK ROOM RECEPTACLE CIRCUIT.
- 3 PROVIDE 1" CONDUIT FROM SPEAKER MOUNTED IN CHASE BEHIND WALL. ROUTE CONDUIT BELOW IN BASEMENT OVER TO AV RACK IN SOUTHEAST CORNER OF MOHAWK ROOM.
- 4 PROVIDE 1" CONDUIT FROM MOTORIZED SCREEN ABOVE CEILING TO CORNER OF ROOM. ROUTE CONDUIT SURFACE MOUNTED DOWN WALL AND BELOW INTO BASEMENT. ROUTE OVER TO AV RACK IN SOUTHEAST CORNER.
- 5 PROVIDE (2)1" CONDUIT FROM VIDEO PROJECTOR ABOVE CEILING TO CORNER OF ROOM. ROUTE CONDUIT SURFACE MOUNTED DOWN WALL AND BELOW INTO BASEMENT. ROUTE OVER TO AV RACK IN SOUTHEAST CORNER.
- 6 PROVIDE (1)20A/1P CIRCUIT IN EXISTING PANEL LOCATED IN NEW SECURITY OFFICE. CIRCUIT VIDEO PROJECTOR, MOTORIZED SCREEN, AND AV RACK TO THIS CIRCUIT.
- 7 PROVIDE (1)3/4" CONDUIT FOR CIRCUITNG AND (1)1" CONDUIT FOR AV & DATA WIRING. ROUTE CONDUITS THROUGH WALL INTO CHASE AND DOWN INTO BASEMENT BELOW..



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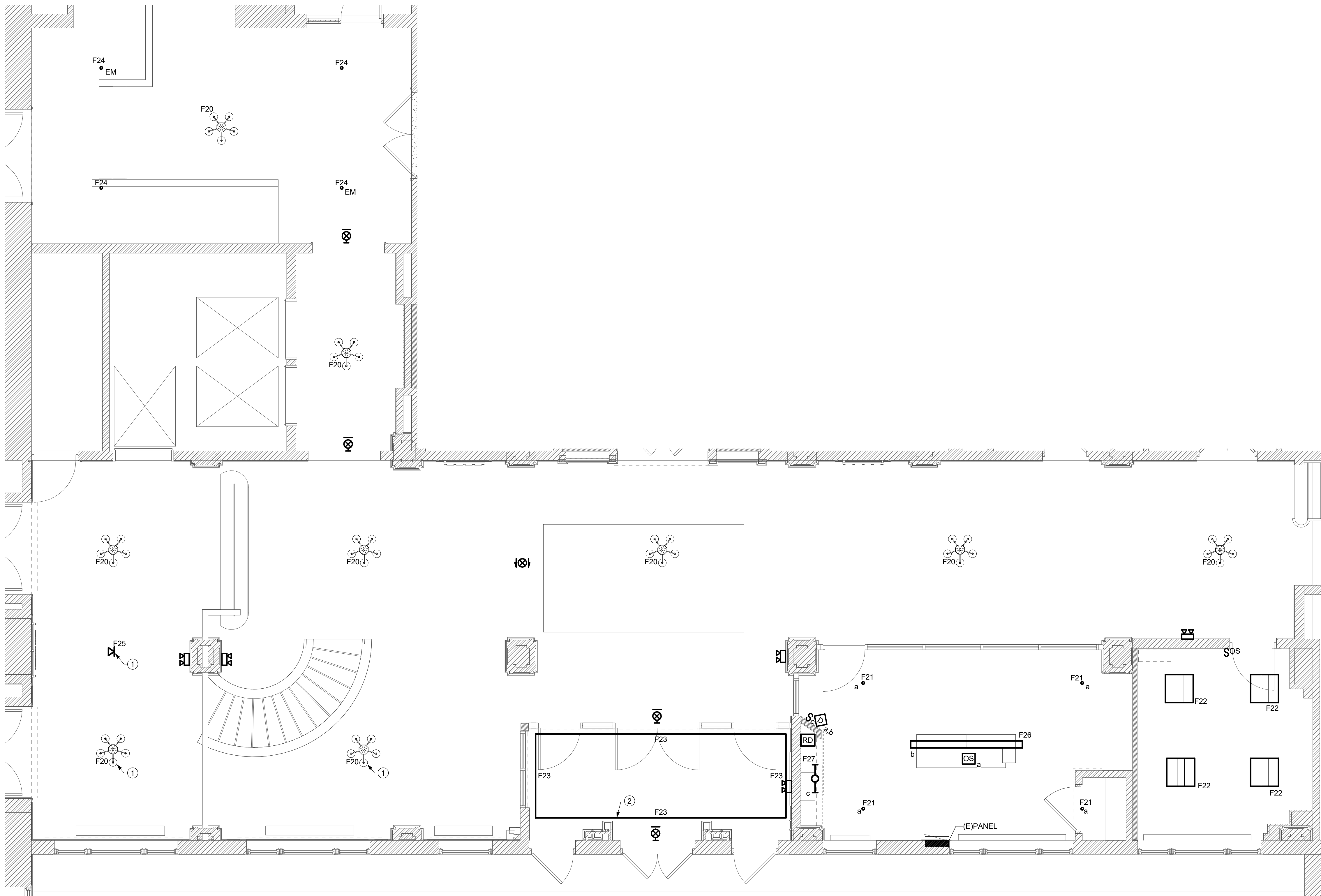
MOHAWK ROOM POWER  
& SYSTEMS PLAN

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E101B

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1 LOBBY AND OFFICES LIGHTING PLAN  
E201A SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- CONNECT ALL LIGHT FIXTURES TO EXISTING LIGHTING CIRCUITS MAINTAINED WITH REMOVALS. CIRCUITING SHALL BE MINIMUM (2)#12+(1)#12G IN 3/4" CONDUIT.
- COORDINATE NEW DOWLIGHTS WITH EXISTING PLASTER CEILING. ADVISE ANY CONFLICTS IN LAYOUT WITH ARCHITECT PRIOR TO FINAL INSTALLATION.
- CIRCUIT ALL EXIT SIGNS AND EMERGENCY WALL PACK AHEAD OF ANY LIGHTING CONTROLS.
- CONNECT LOBBY AND VESTIBULE FIXTURES TO EXISTING LOBBY LIGHTING CONTROLS MAINTAINED WITH REMOVALS.

E201A DRAWING NOTES

- PRIOR TO ROUGH IN, INVESTIGATE AND VERIFY CONDITION OF ANY EXISTING LIGHTING CIRCUIT WIRING AT EXISTING PENNDANT MEDALLION. CIRCUIT NEW PENDANT TO EXISTING CIRCUIT SHOULD THE EXISTING CIRCUIT BE FOUND IN GOOD CONDITION. IF EXISTING WIRING IS FOUND TO NOT BE IN GOOD CONDITION, COORDINATE CUTTING AND PATCHING CEILING TO ALLOW FOR CIRCUITING TO NEAREST EXISTING PENDANT LIGHT.
- SEE ARCHITECTURAL DETAILS FOR INSTALLATION OF TAPE LIGHT.



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ELSTON HALL LOBBY  
LIGHTING FLOOR PLAN  
NEW

Sheet Number:

E201A

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GENERAL NOTES:

- A. CONNECT ALL LIGHT FIXTURES TO EXISTING CHANDELIER CIRCUIT. CIRCUITING SHALL BE MINIMUM (2)#12+(1)#12G IN 3/4" CONDUIT.
- B. COORDINATE NEW DOWNLIGHTS WITH EXISTING PLASTER CEILING. ADVISE ANY CONFLICTS IN LAYOUT WITH ARCHITECT PRIOR TO FINAL INSTALLATION.

E-201 DRAWING NOTES

1. PROVIDE CASAMBI WIRELESS CONTROL PLATFORM SWITCH(ES) FOR ON/OFF AND DIMMING CONTROL OF MOHAWK ROOM LIGHT FIXTURES (CASAMBI SWITCH 55 SERIES). PROVIDE (1) CR03 HANDHELD REMOTE CONTROLLER AT PODIUM.
2. PROVIDE FDELV600W ELV POWER PACK FOR WIRELESS CONTROL OF CHANDELIER BY CASAMBI SWITCHES.



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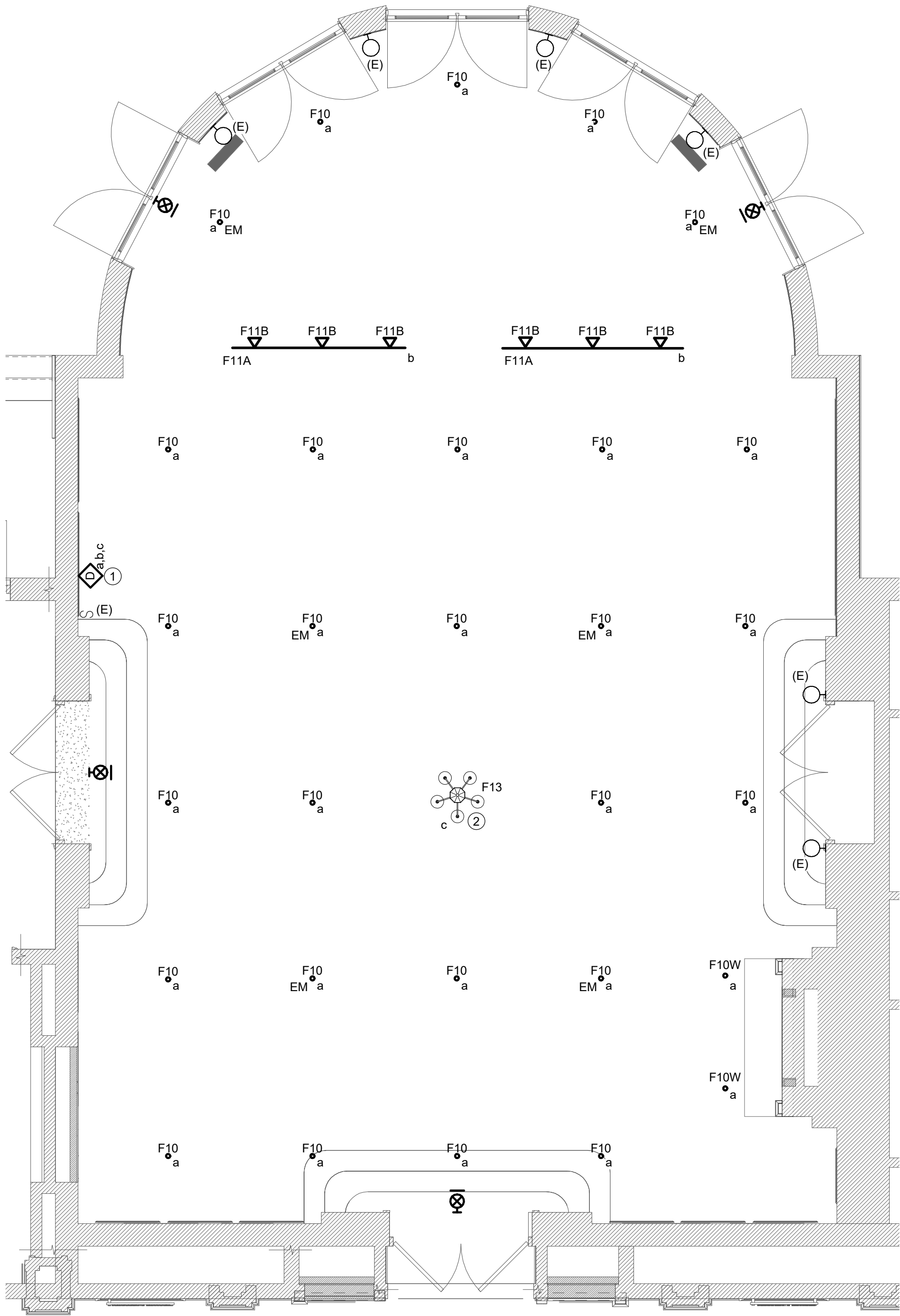
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MOHAWK ROOM  
LIGHTING PLAN

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E201B

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1 MOHAWK ROOM LIGHTING PLAN - ALTERNATE #1  
E201B SCALE: 1/4" = 1'-0"



LUMINAIRE SCHEDULE							
TYPE	DESCRIPTION	MFR. & CATALOG No.	LAMP	VOLTAGE	MOUNTING	UNIT WATTS	REFERENCE NOTES
F10	3' RECESSED DOWNLIGHT DEEP REGRESS, 50 DEGREE BEAM, HIGH EFFICIENCY TEXTURED LENS, RETROFIT MOUNT, 0-10V DIMMING TO 1%	ALPHABET NU3	LED 3000K 90CRI 1680 LUMENS	UNV	CEILING MOUNTED	17	1,3
F10W	SAME AS F10, EXCEPT WALL WASH						1,3
F11A	TRACK SYSTEM, 7'-8" LENGTH, WHITE FINISH	BRUCK 370GES	-	120V	SURFACE		
F11B	TRACK LIGHT FIXTURE WITH 0-10V DIMMING, SPOT LIGHT DYNAMIC ZOOM 21-40 DEGREES, TRACK MOUNTING, HIGH EFFICEINCY TEXTURED LENS, 0-10V DIMMING TO 1%	BRUCK LX PRO	LED 3000K 90CRI 1540 LUMENS	120V	TRACK MOUNT	13	3
F13	CHANDELIER		LED	120V	PENDANT	75	2
F20	CHANDELIER		LED	120V	PENDANT	75	2
F20A	CHANDELIER		LED	120V	PENDANT	75	2
F21	4" RECESSED ROUND BAFFLE DOWNLIGHT, ADJUSTABLE LUMEN OUTPUT, SWITCHABLE WHITE, NEW CONSTRUCTION MOUNTING FRAME, 0-10V DIMMING 10% DIM, WHITE FINISH	ACUITY BRANDS JPDZ4	LED 3500K 1200 LUMENS	MVOLT	RECESSED	15	
F22	LAY-IN PANEL, 2X2, SWITCHABLE LUMENS AND COLOR TEMPERATURE	ACUITY BRANDS CPANL	LED 3500K 4400 LUMENS	MVOLT	RECESSED	40.5	
F23	24V COLOR TEMPERATURE SELECTABLE LED TAPE LIGHT	WAC LIGHTING T24	LED 3000K 200 LM/FT	120	SURFACE	2.4W/FT	4
F24	SAME AS F10						1
F25	8'-0" LINEAR PENDANT, DIRECT/INDIRECT LIGHTING, MATTE BLACK PARABOLIC LOUVER, WIDESPREAD INDIRECT OPTIC, STATIC WHITE, 0-10V DIMMING 1% DIM, ARICRAFT CABLE SUSPENDED	ACUITY BRANDS CLX	LED 3000K 90CRI 750 LM/FT DIRECT 350 LM/FT INDIRECT	MVOLT	SUSPENDED	14.1 W/FT	
F26	MONO POINT SPOTLIGHT FIXTURE, ADJUSTABLE BEAM 15-50 DEGREES	WAC LIGHTNG MO-2042	LED 3000K 2520 LUMENS	120-277V	SURFACE	42	
F27	24" STRIP LIGHT FIXTURE, STANDARD EFFICEINCY, FLAT DIFFUSE LENS, 0-10V DIMMING TO 10% DIM	ACUITY BRANDS CLX	LED 3000K 80CRI 2000 LUMENS	MVOLT	SURFACE WALL	18	
EX-1	EXIT SIGN, INTEGRAL BATTERY BACKUP	ACUITY BRANDS EDGR-W-1-G-EL	LED	120V	CEILING		
EX-2	EXIT SIGN, INTEGRAL BATTERY BACKUP	ACUITY BRANDS EDGR-W-1-G-EL-WM	LED	120V	WALL		
EM-1	EMERGENCY WALLPACK	ACUITY BRANDS LMIGN2-EM-SQ-WH-MR+LM IGN2-ACCY-RBB-CP	LED	120V	CEILING		
EM-2	EMERGENCY WALLPACK	ACUITY BRANDS LMIGN2-EM-SQ-WH-MR+LM IGN2-ACCY-RBB-CP	LED	120V	WALL		

REFERENCE NOTES:

1. PROVIDE WITH INTEGRAL BATTERY WHERE CALLED FOR ON DRAWINGS.
2. SEE SPECIFICATIONS FOR ALLOWANCES, BASE BIDSHALL INCLUDE INSTALLATION OF LIGHT FIXTURE AS WELL AS PROVIDING ASSOCIATED CONDUIT AND WIRING.
3. PROVIDE WITH CASAMBI BLUETOOTH CONTROL FOR INSTALLATIONS IN THE MOHAWK ROOM.
4. CONFIRM FINAL LENGTHS IN FIELD, SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION. PROVIDE REMOTE DRIVER.



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