

HUDSON COMMERCIAL CONSTRUCTION DOCUMENTS

LOCATED IN THE SOUTHWEST 1/4, SECTION 3, TOWNSHIP 1 NORTH, RANGE 65 WEST OF THE
SIXTH PRINCIPAL MERIDIAN TOWN OF HUDSON, COUNTY OF WELD, STATE OF COLORADO



VICINITY MAP
SCALE: 1" = 500'

OWNER
RYAN CARLSON
P.O. BOX 246
EASTLAKE, CO 80614

CIVIL ENGINEER
LJA ENGINEERING, INC.
1765 WEST 121ST AVE., SUITE 300
WESTMINSTER, COLORADO 80234
PHONE: 303-421-4224
CONTACT: KEVIN LOVELACE

ARCHITECT
OXFORD ARCHITECTURE
2934 SIDCO DR, SUITE 120
NASHVILLE, CO 37204
PHONE: 615-256-3455.11
CONTACT: GLEN OXFORD

LANDSCAPE ARCHITECT
SEVEN29 DESIGN
P.O. BOX 202560
DENVER, CO 80220
PHONE: 720-242-7947
CONTACT: CHRIS MARCH

SURVEYOR
LJA SURVEYING, INC.
7800 EAST UNION AVENUE, DENVER,
COLORADO 80237, SUITE 575
PHONE: 303-421-4224
CONTACT: DEREK BROWN

Sheet List Table	
Sheet Number	Sheet Title
1	Cover Sheet
2	Notes
3	Site Plan & Horiz. Control
4	Horizontal Control Tables
5	Master Utility Plan
6	Master Grading Plan
7	Detail Grading Plan
8	Initial SWMP Plan
9	Interim & Final SWMP Plan
10	Plan & Profile - Access Drive
11	Plan & Profile - Country Road 12.5
12	Plan & Profile - Country Road 12.5
13	Plan & Profile - Waterline
14	Plan & Profile - Water & Sanitary Sewer
15	Plan & Profile - Storm Sewer
16	Detention Pond
17	Pond Details
18	Detail Sheet
19	Detail Sheet

ALL WORK MUST BE IN ACCORDANCE WITH APPLICABLE TOWN OF HUDSON
CONSTRUCTION STANDARDS. THE TOWN'S ACCEPTANCE ALLOWS FOR PLAN
DISTRIBUTION AND PERMIT APPLICATION. THE TOWN'S ACCEPTANCE SHALL
NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY FOR ERRORS,
OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE TOWN IS HELD
HARMLESS.

ACCEPTED BY: _____ DATE: _____
TOWN ENGINEER

PROJECT BENCHMARK:
NGS CONTROL MONUMENT "N 62" BEING A STANDARD DISK,
STAMPED "N 62 1934" AND SET IN THE TOP OF A CONCRETE
POST. MONUMENT IS LOCATED 1.2 MILES SOUTH ALONG THE
CHICAGO, BURLINGTON AND QUINCY RAILROAD FROM
HUDSON, WELD COUNTY, 0.1 MILE SOUTH OF MILEPOST 514,
AT A ROAD CROSSING, 104 FEET WEST OF THE CENTERLINE OF
THE TRACK, 34 FEET NORTH OF THE CENTERLINE OF THE ROAD,
AND 34 FEET EAST OF THE CENTERLINE OF STATE HIGHWAY 2.

DATUM ELEV. = 4985.64' (NAVD 88)

CONSTRUCTION MUST BE IN ACCORDANCE WITH APPLICABLE TOWN OF
HUDSON CONSTRUCTION STANDARDS. THE TOWN'S ACCEPTANCE ALLOWS
FOR PLAN DISTRIBUTION AND PERMIT APPLICATION. THE TOWN'S
ACCEPTANCE SHALL NOT RELIEVE THE DESIGN ENGINEER'S RESPONSIBILITY
FOR ERRORS, OMISSIONS, OR DESIGN DEFICIENCIES FOR WHICH THE TOWN
IS HELD HARMLESS.

ACCEPTED BY: _____ DATE: _____
UTILITIES DIRECTOR



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Revision Type:		Revision Type:	
No.	Rev. Date:	No.	Rev. Date:
1		1	
2		2	
3		3	
4		4	
5		5	
Designed: WWB		Job No.: 4569-0001	
Prepared: WWB		Scale Horiz: N/A	
Approved: DKH		Scale Vert: N/A	
		Sheet: 1 of 19	
		Date: April 24, 2024	

Proj. Name:	Hudson Commercial
Location:	Town of Hudson, CO
Plan Set:	Construction Documents
Sheet Name:	Cover Sheet

NOT FOR
CONSTRUCTION



Know what's below.
Call before you dig.

No.	1
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TOWN OF HUDSON - CONSTRUCTION NOTES

1. All work within the public right-of-way, or easement shall conform to the Town of Hudson Construction Specifications and Design Standards.
2. The Contractor is responsible for obtaining all required permits prior to commencement of any work on the project. A permit from Public Works Department (970-350-9881) is required for all construction in public right-of-way or easements. A pre-construction conference shall be held with Town representatives before a permit is issued. All Utility Marking Center of Colorado at 1-800-922-1987 for utility locates at least 48 hours prior to any excavation work.
3. The Contractor shall notify Construction Services (970-350-9358) at least 24 hours prior to required inspection.
4. It is the Contractor's responsibility to notify the Owner/Developer, and the Town, of any problems in conforming to the accepted plans for any element of the proposed improvements prior to its construction.
5. It is the responsibility of the Developer during construction activities to resolve construction problems due to changed conditions, or design errors encountered by the Contractor during the progress of any portion of the project. If, in the opinion of the Town, the modifications proposed by the Developer, to the accepted plans, involve significant changes to the character of the work, or to the future contiguous public or private improvements, the Developer shall be responsible for re-submitting the revised plans to the Town of Hudson for acceptance prior to any further construction related to that portion of the project. Any improvements not constructed in accordance with the accepted plans, or the accepted revised plans, shall be removed and reconstructed according to the approved plan.
6. The Contractor shall be solely and completely responsible for the conditions at and adjacent to the job site, including safety of all persons and property, during the performance of the work. This responsibility shall apply continuously and shall not be limited to normal working hours. The duty of the Town to conduct construction review of the Contractor's performance is not intended to include review of the adequacy of the Contractor's safety measures in, on, or near the construction site.
7. The Contractor shall provide all lights, signs, barricades, flag persons, or other devices necessary to provide for public safety in accordance with the current Manual on Uniform Traffic Control Devices, and the Hudson Supplement to the Manual on Uniform Traffic Control Devices.
8. The Contractor is responsible for the protection of all survey monuments. Any monuments that may be destroyed for construction shall be replaced. The Contractor shall engage the services of a Professional Licensed Surveyor (PLS) prior to disturbing any monuments.
9. Prior to final placement of surface pavement, all underground utility mains shall be installed and service connections stubbed out beyond curb line, when allowed by the utility. Service from public utilities and from sanitary sewers shall be made available for each lot in such a manner that will not be necessary to disturb the street pavement, curb, gutter, and sidewalk when connections are made.
10. A Geotechnical Report has been prepared by CTL Thompson on November 1, 2023, Project No. DN52,053-115-R1 for right-of-way grading and paving. Refer to the Geotechnical Report for design and construction specifications. A Final Pavement Design Report is also required. The soil investigation for this report shall occur after utility construction and grading for streets is completed to within 6" of anticipated subgrade. The final Pavement Design Report shall be accepted by the Town of Hudson prior to any non-structural concrete, pavement or subgrade installation.

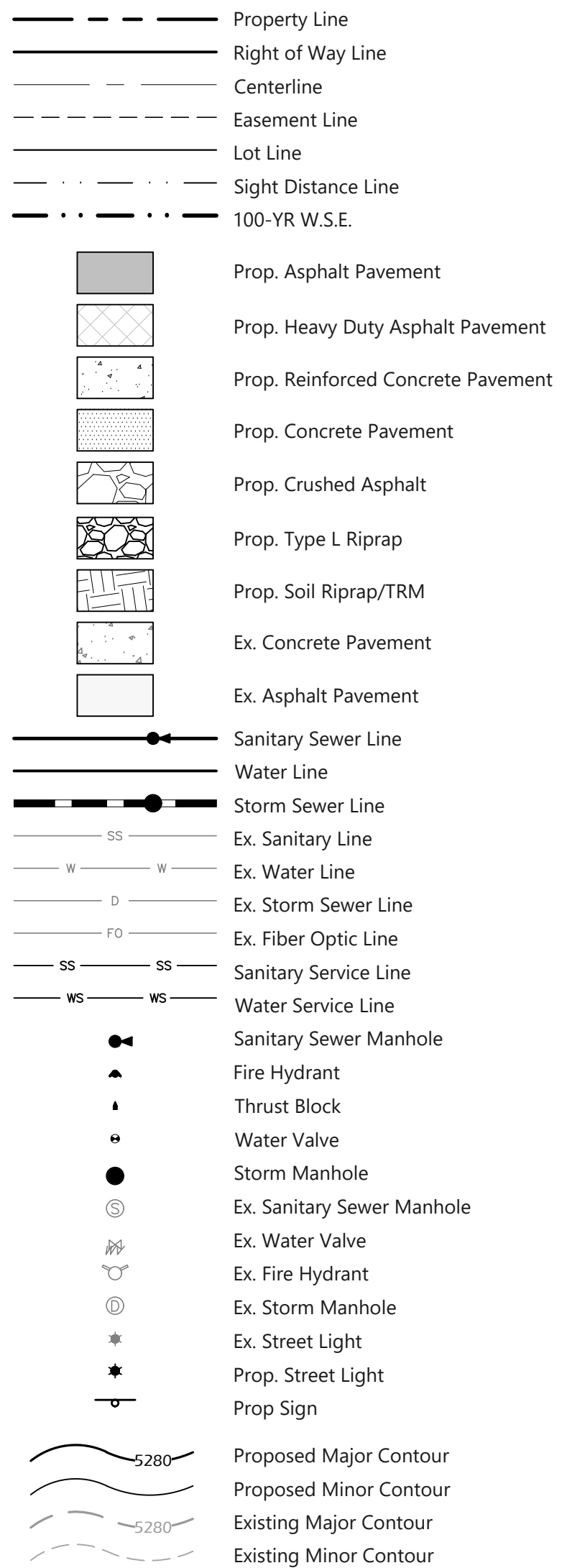
TOWN OF HUDSON - STORMWATER NOTES

1. Bedding for all storm drain shall be per the standard storm drain bedding details- Detail 6-6 for RCP and HDPE pipe and detail 6-7 for PVC and CMP pipe.
2. All storm drainage construction shall conform to the Town of Hudson most recent storm drainage specifications. A copy of the specifications may be obtained from the town or found on the town's web page.
3. RCP shall have a flexible gasket material (Water tight rubber gaskets) meeting ASTM C443 and Type 4-6 Bell and Spigot Joints.
4. Backfill material may be local site material that is well-graded, non-cohesive granular material free of rocks, frozen lumps, foreign material or stones greater than 2" in any dimension, aggregate base course, or flowfill. Remove all debris including soda cans, rags, pipe banding material, etc. from the pipe trench before backfilling.
5. All areas impacted by the construction shall be cleared of project generated debris by the contractor at the earliest opportunity, but in no case shall any roads or walkways be left uncleared after the completion of the day's work. It shall be the contractor's responsibility to provide the necessary equipment and material to satisfactorily clean the roadways.

TOWN OF HUDSON - SANITARY & WATER NOTES

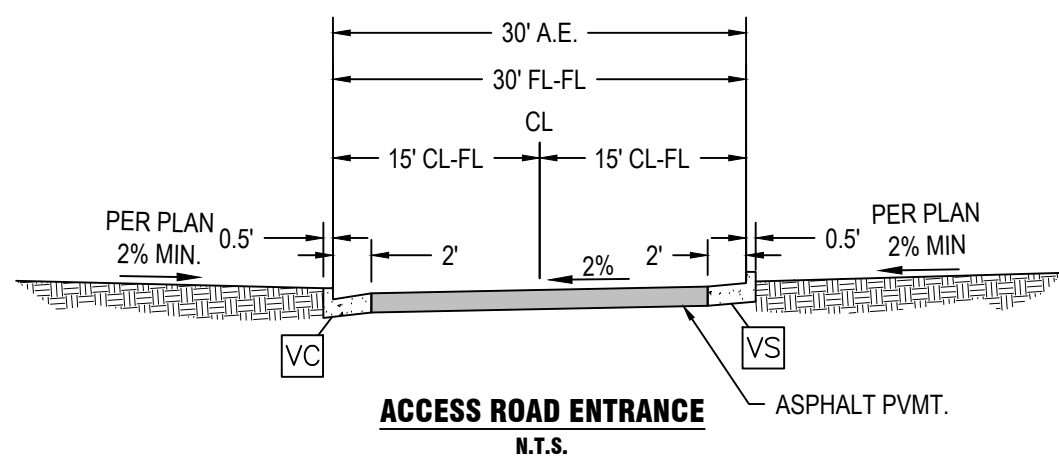
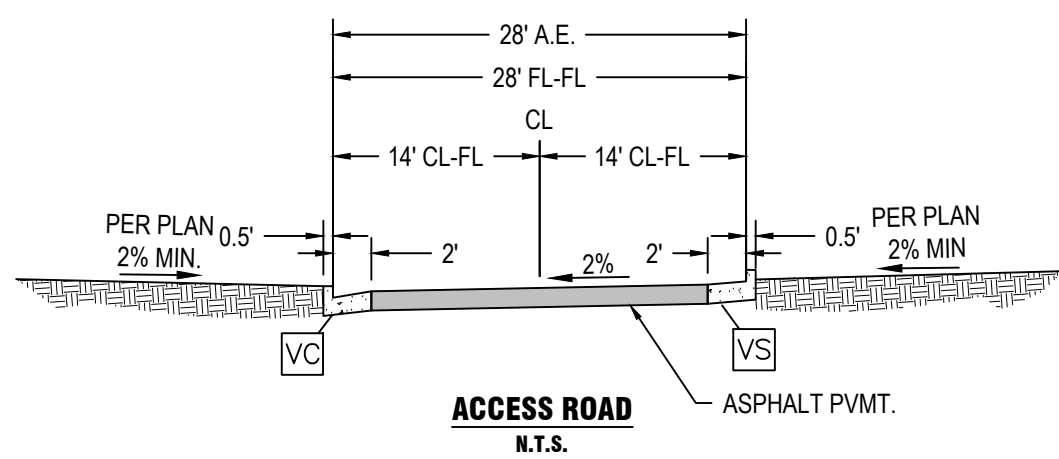
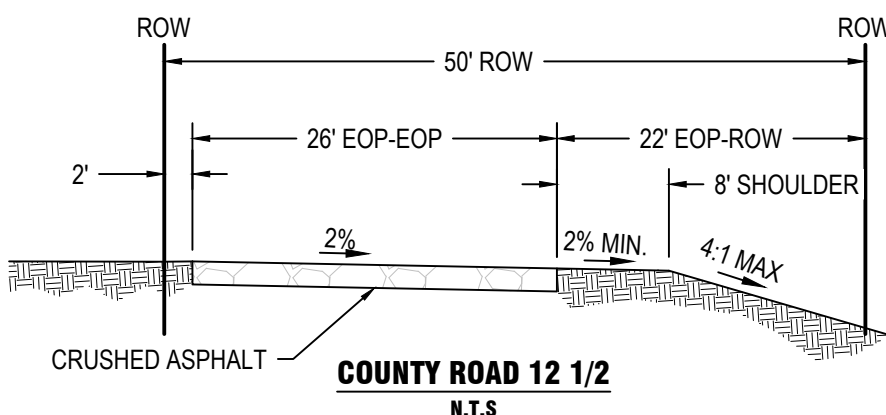
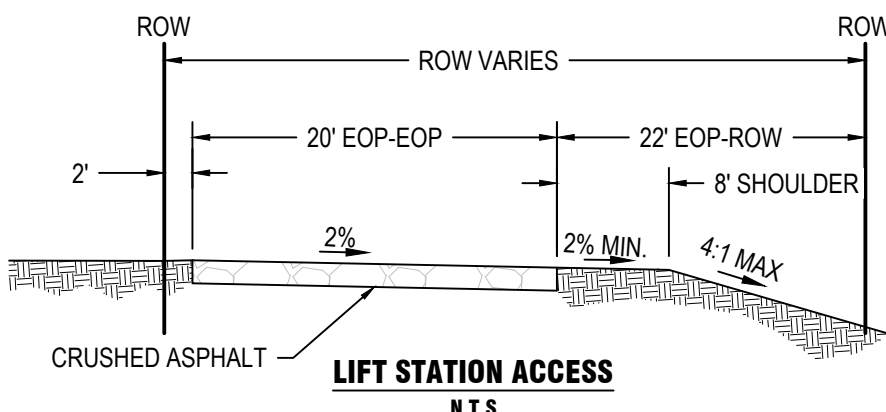
1. All construction work to be accepted by the Town shall conform to the Town of Hudson Construction Specifications and Design Standards.
2. All over lot grading in the right-of-way or easement shall be completed prior to installing potable water, sanitary sewer, or non-potable irrigation lines.
3. Contractor shall verify all utility locations prior to construction. Call Utility Notification Center of Colorado at 1-800-922-1987 or dial 811 for utility locates 48 hours prior to any excavation work.
4. Maintain a minimum of ten (10) feet horizontal clear distance separation between potable water mains/services and sanitary sewer or non-potable irrigation mains/services. Potable water mains/services are to be located 18-inches minimum above the sanitary sewer or non-potable irrigation Mains/services. If field conditions vary from those shown on these plans and the sanitary sewer or non-potable mains/services cannot be located below the water main or service, a clear vertical distance of eighteen (18) inches below cannot be maintained, or a minimum ten (10) foot horizontal separation cannot be achieved, the Town shall be contacted immediately to review the situation.
5. In all instances where a water line lowering, potable or non-potable, is required due to unforeseen field conditions, a detailed drawing shall be provided to the Town for acceptance prior to performing the work.
6. Where potable water, sanitary sewer, and non-potable irrigation lines are located in common utility easement areas, there shall be no other utilities located horizontally within ten (10) feet of either line except at approved crossings.
7. Contractor shall notify the Town one (1) week prior to commencing work after Town accepted Construction Drawings have been distributed and a preconstruction meeting has been held with the Town.
8. Contractor shall pothole all existing utilities to be crossed by potable water, sanitary sewer, or non-potable irrigation lines at least 24 hours prior to crossing to ensure 18" minimum clearance for open cut crossings and 36" minimum clearance for bored crossings. Horizontal and vertical location of crossed existing utilities shall be recorded on the As-Constructed Record Drawings.
9. Should any variations before or during construction to the potable water distribution, sanitary sewer collection, or non-potable irrigation system designs be considered, notice must first be given to the Town to determine if it needs acceptance by the Town. If so, a new plan shall be drawn and submitted to the Town for acceptance by the Design Engineer 72 hours prior to construction.
10. Final construction plans are valid for construction one (1) year from the date of Town signature acceptance.
11. All potable water mains, services, and hydrant lines shall have a minimum cover of five (5) feet and a maximum cover of six (6) feet unless otherwise indicated on the accepted Construction Drawings.
12. All non-potable water mains and services shall have a minimum cover of three and a half (3.5) feet and a maximum cover of six (6) feet unless otherwise indicated on the accepted Construction Drawings.
13. All new water mains shall be bulkheaded and tested and approved prior to connection to the existing water system. Valves which pass testing for pressure and leakage at the time of installation and the testing was performed in the presence of the Town may be considered as a bulkhead.
14. Verification Survey - Top of pipe elevations at all potable and non-potable water line valves, and sanitary sewer manhole inverts shall be surveyed and provided to the Town by the Design Engineer for acceptance prior to paving construction. The verification survey shall also provide sewer pipe slopes and length and proposed finished ground elevations at all valve boxes and manhole rim elevations.
15. All utility conduit crossings of potable water, sanitary sewer and non-potable irrigation lines shall be encased in High Density Polyethylene (HDPE) pipe, with a minimum Standard Dimension Ratio (SDR) 11 across the entire easement or right-of-way width. The encasement joint shall be butt fused. Flexible joints are not allowed.
16. Wet taps shall be drilled by the Town for a fee. Call the Town at least 48 hours in advance to pay fees and schedule tap.

LEGEND

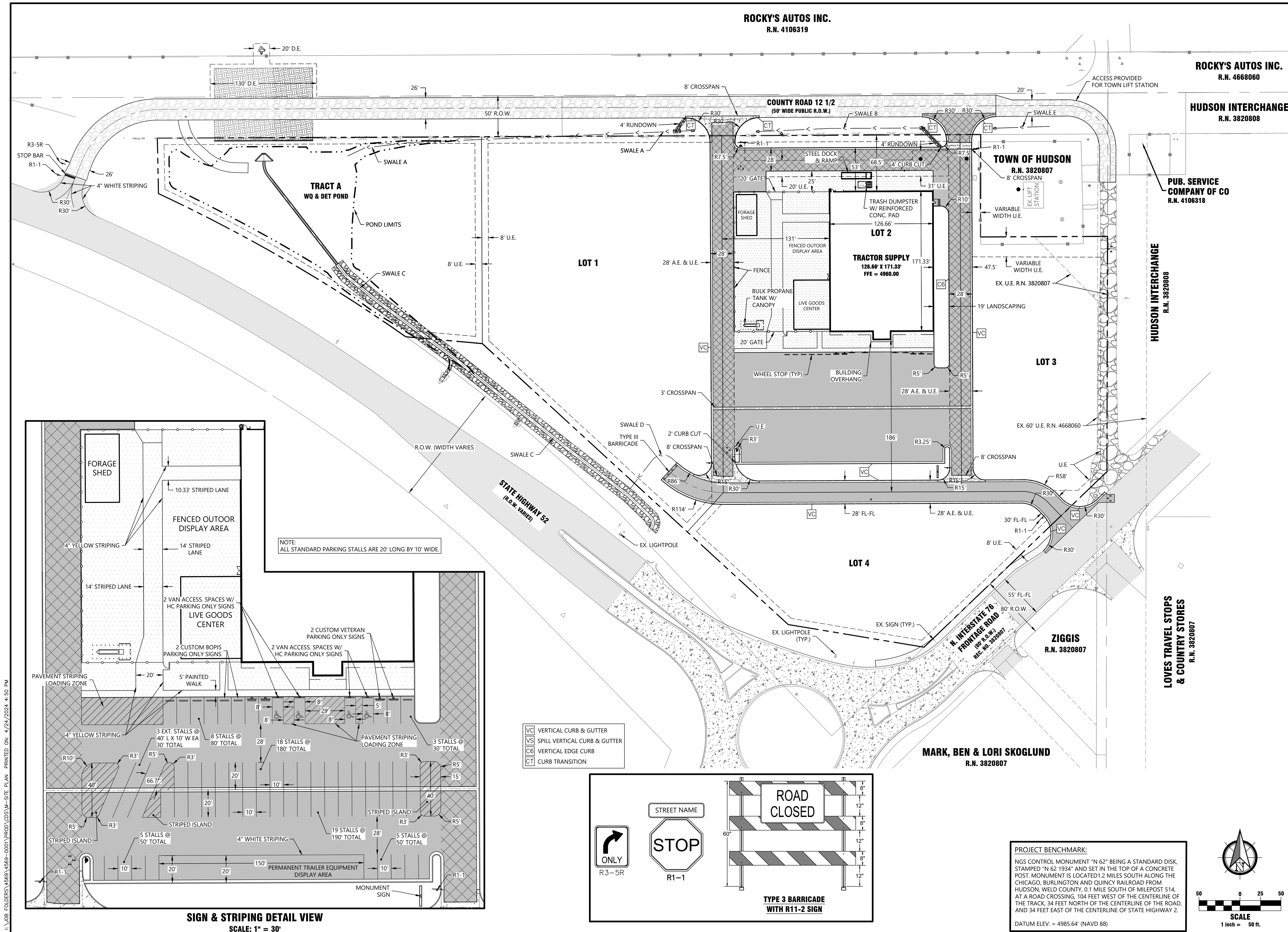


GENERAL ABBREVIATIONS

A.E.	ACCESS EASEMENT
BKL	BIKE LANE
BL CONST	BASELINE OF CONSTRUCTION
BOPIS	BUY ONLINE PICKUP IN STORE
BS	BOTTOM ELEVATION OF RISE
CE	CURB EXTENSION
CL	CENTERLINE
COMM	COMMUNICATION UTILITIES
CT	CURB TRANSITION
CWN	CROWN
DBO	DESIGN BY OTHERS
DC	MEDIAN CURB & GUTTER
D.E.	DRAINAGE EASEMENT
DET	DETENTION
D.U.E.	DRAINAGE & UTILITY EASEMENT
EOP	EDGE OF PAVEMENT
EOG	EDGE OF GRAVEL
FES	FLARED END SECTION
FGB	FINISHED GROUND AT BOTTOM WALL ELEVATION
FGT	FINISHED GROUND AT TOP WALL ELEVATION
FH	FIRE HYDRANT
FL	FLOWLINE
FLV	FIELD VERIFY
G	FINISHED GROUND
G.E.	GAS EASEMENT
GV	GATE VALVE
HP	HIGH POINT
IL	IRRIGATION LINE
IV	IRRIGATION VALVE
LL	LOT LINE
LP	LOW POINT
MC	MOUNTABLE CURB & GUTTER
MH	MANHOLE
MSE	MECHANICALLY STABILIZED EARTH
OHE	OVERHEAD ELECTRIC
P	PAVEMENT
PC	POINT OF CURVATURE
PCC	POINT OF COMPOUND CURVATURE
PCR	POINT OF CURB RETURN
PGL	PROFILE GRADE LINE
PRC	POINT OF REVERSE CURVATURE
PT	POINT OF TANGENCY
R.O.W.	RIGHT OF WAY
RN	RECORDING NUMBER
S.E.	SANITARY EASEMENT
SEC	SECTION LINE
SL	SANITARY LINE
SS	SANITARY SERVICE
SW	SIDEWALK
TB	THRUST BLOCK
TC	TOP OF CURB
TR.E.	TRANSPORTATION EASEMENT
TS	TOP ELEVATION OF RISER
U.E.	UTILITY EASEMENT
U.G.E	UTILITY & GAS EASEMENT
UG ELEC.	UNDERGROUND ELECTRIC
VC	VERTICAL CURB & GUTTER
W.E.	WATER EASEMENT
WL	WATER LINE
WQ	WATER QUALITY
WS	WATER SERVICE
WSE	WATER SURFACE ELEVATION
WV	WATER VALVE



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HORIZONTAL CONTROL TABLES TO BE PROVIDED WITH FINAL SUBMITTAL

PROJECT BENCHMARK:
NGS CONTROL MONUMENT "N 62" BEING A STANDARD DISK,
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POST. MONUMENT IS LOCATED 1.2 MILES SOUTH ALONG THE
CHICAGO, BURLINGTON AND QUINCY RAILROAD FROM
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AND 34 FEET EAST OF THE CENTERLINE OF STATE HIGHWAY 2.
DATUM ELEV. = 4985.64' (NAVD 88)



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No.	Rev.	Date:	Revision Type:	Sheet:	Date:
1					
2					
3					
4					
5					
6					
Designed: WWB		Job No.: 4569-0001	Scale Horiz: N/A	Scale Vert: N/A	4 of 19
Prepared: WWB		DKH			April 24, 2024
Approved:					

Proj. Name:	Hudson Commercial
Location:	Town of Hudson, CO
Plan Set:	Construction Documents
Sheet Name:	Horizontal Control Tables

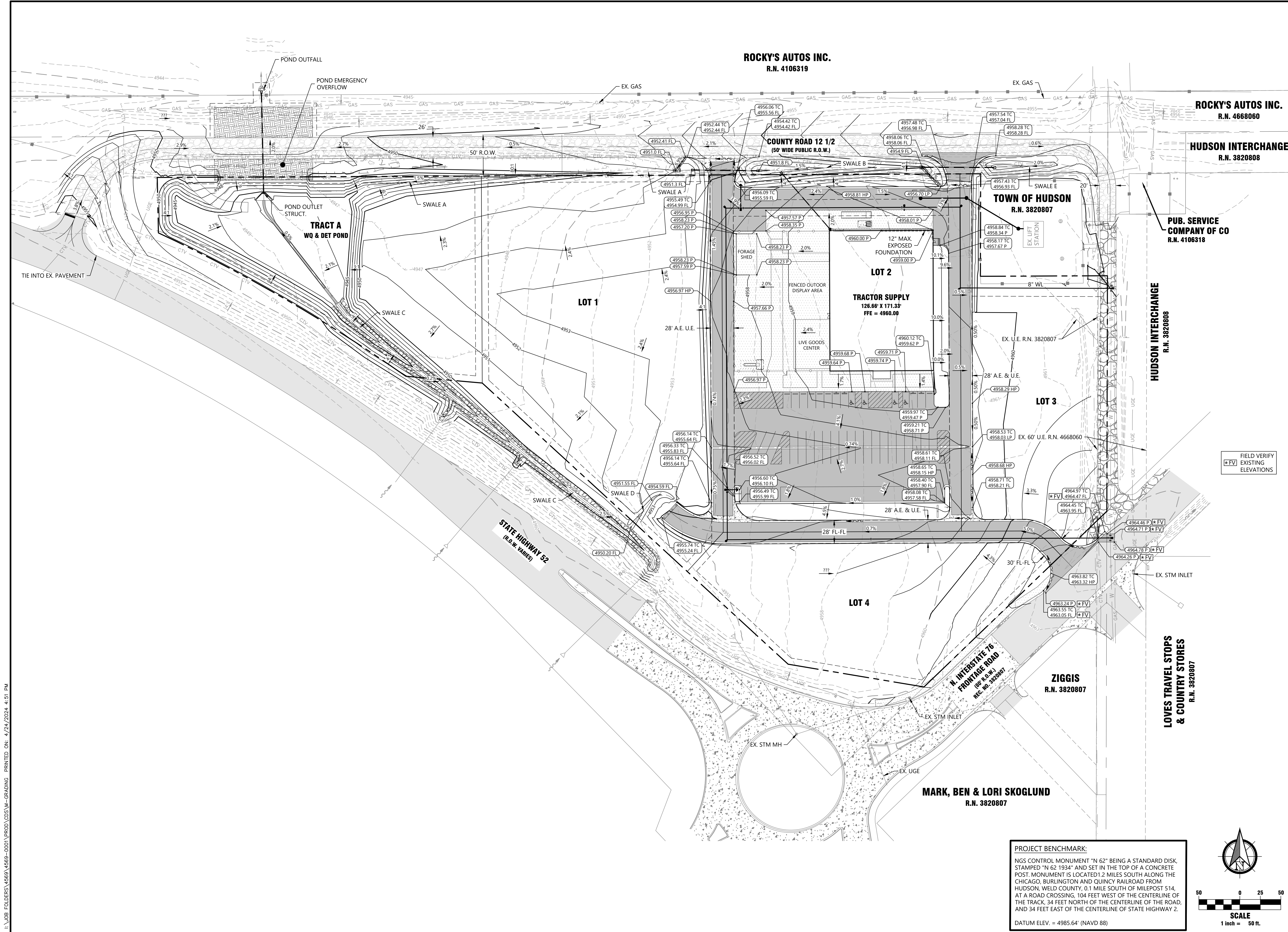
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No.4

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PROJECT BENCHMARK:
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DATUM ELEV. = 4985.64' (NAVD 88)



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No.	Rev.	Date:	Revision Type:
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Designed: WWB
Prepared: WWB
Approved: DKH

Job No.: 4569-0001
Scale Horiz: 1" = 50'
Scale Vert: N/A

Sheet: 6 of 19
Date: April 24, 2024

Proj. Name: Hudson Commercial

Location: Town of Hudson, CO

Plan Set: Construction Documents

Sheet Name: Master Grading Plan

NOT FOR CONSTRUCTION

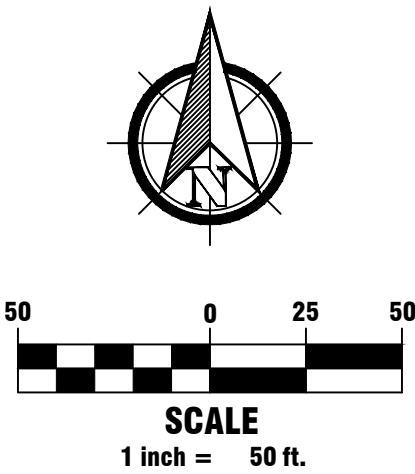


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No. 6

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ADDITIONAL DETAIL
GRADING TO BE PROVIDED
WITH FINAL SUBMITTAL



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No.		Rev. Date:	Revision Type:	
1				
2				
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4				
5				
6				
Designed: WWB		Job No.: 4569-0001	Sheet: 7 of 19	Date: April 24, 2024
Prepared: WWB		Scale Horiz: N/A	Scale Vert: N/A	
Approved: DKH				

Proj. Name:	Hudson Commercial
Location:	Town of Hudson, CO
Plan Set:	Construction Documents
Sheet Name:	Detail Grading Plan

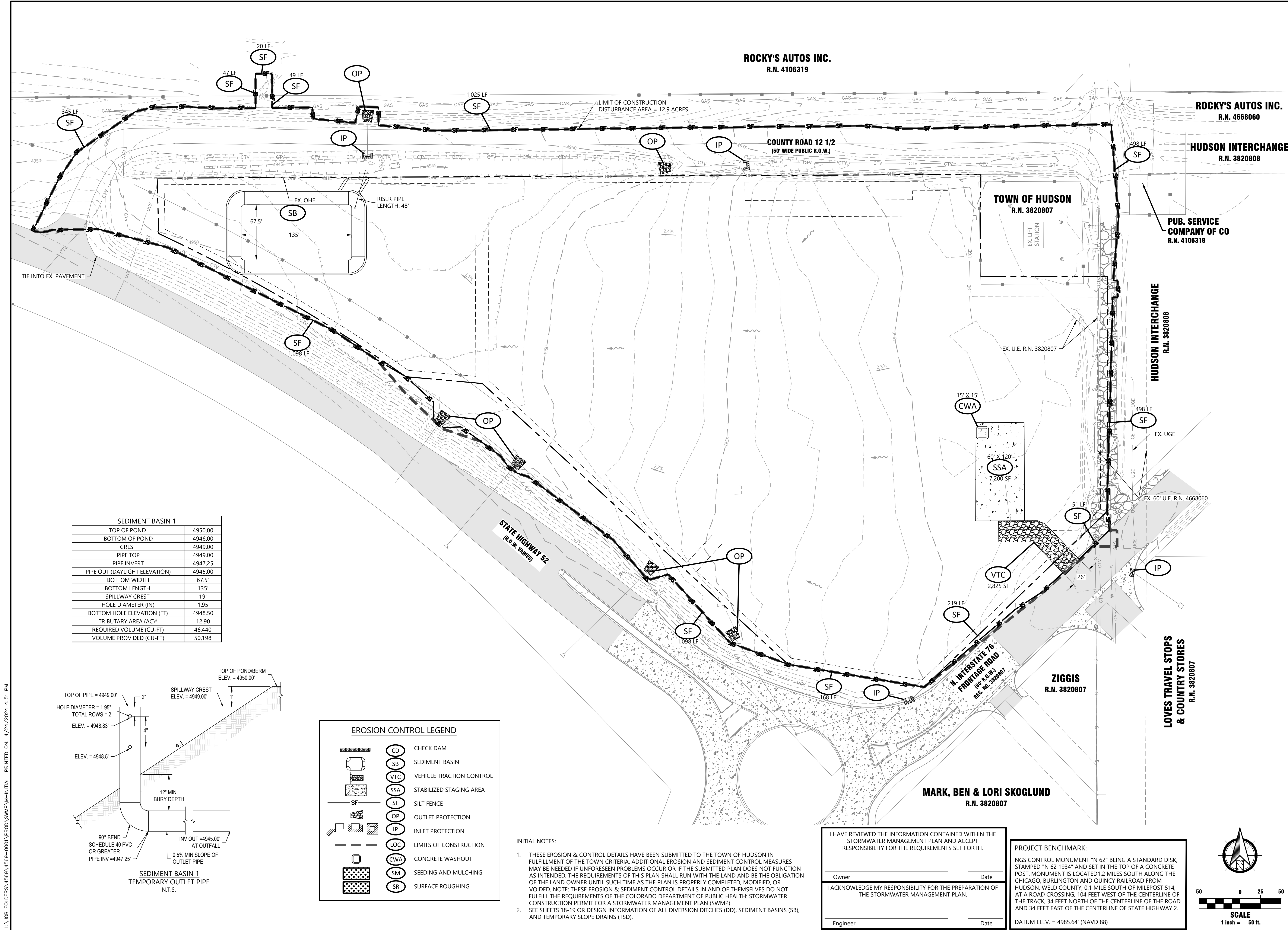
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Know what's below.
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No.	7
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LJA

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Revision Type:

No.	Rev.	Date:
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Designed: WWB
Prepared: ICS
Approved: DKH

Job No.: 4569-0001
Scale Horiz: 1" = 50'
Scale Vert: N/A

Sheet: 8 of 19
Date: April 24, 2024

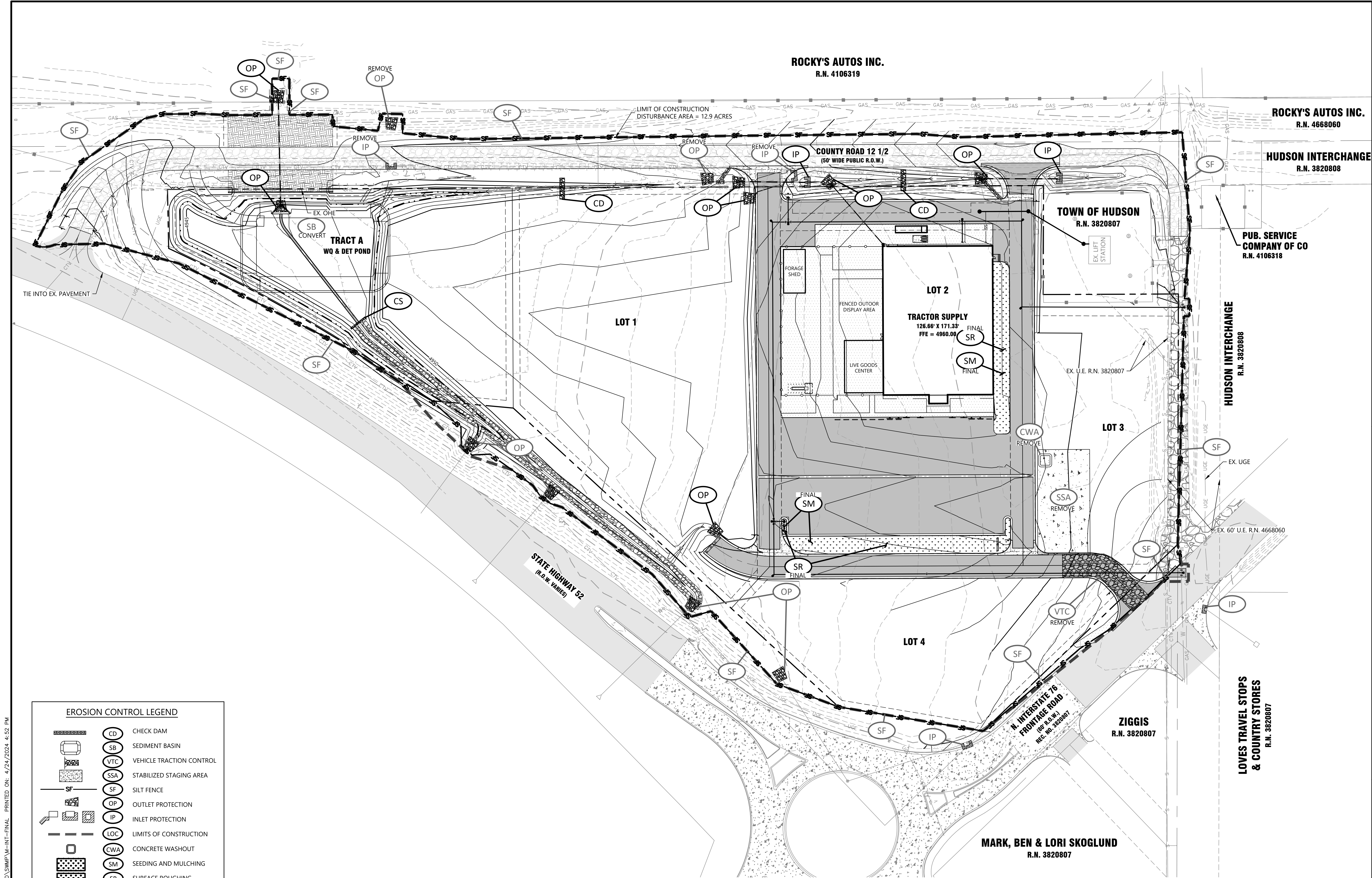
Proj. Name: Hudson Commercial
Location: Town of Hudson, CO
Plan Set: Construction Documents
Sheet Name: Initial SWMP Plan

811

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No. 8

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EROSION CONTROL LEGEND		
	CD	CHECK DAM
	SB	SEDIMENT BASIN
	VTC	VEHICLE TRACTION CONTROL
	SSA	STABILIZED STAGING AREA
	SF	SILT FENCE
	OP	OUTLET PROTECTION
	IP	INLET PROTECTION
	LOC	LIMITS OF CONSTRUCTION
	CWA	CONCRETE WASHOUT
	SM	SEEDING AND MULCHING
	SR	SURFACE ROUGHING

SEDIMENT BASIN NOTE

- SEDIMENT BASIN WILL BE REMOVED AFTER THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - ALL SEDIMENT TRAPS ARE IN PLACE AND PRIOR TO THE CONVERSION OR GRADING OF THE PERMANENT DETENTION POND.
 - OUTLET STRUCTURE AND FINAL POND GRADING AND OVERFLOW TO BE IN-PLACE PRIOR TO SEDIMENT BASIN REMOVAL.

INTERIM NOTES:

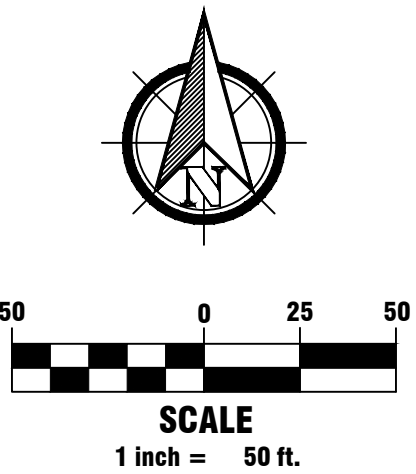
- THESE EROSION & CONTROL DETAILS HAVE BEEN SUBMITTED TO THE TOWN OF HUDSON IN FULFILLMENT OF THE TOWN CRITERIA. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE NEEDED IF UNFORESEEN PROBLEMS OCCUR OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL RUN WITH THE LAND AND BE THE OBLIGATION OF THE LAND OWNER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED, MODIFIED, OR VOIDED. NOTE: THESE EROSION & SEDIMENT CONTROL DETAILS IN AND OF THEMSELVES DO NOT FULFILL THE REQUIREMENTS OF THE COLORADO DEPARTMENT OF PUBLIC HEALTH: STORMWATER CONSTRUCTION PERMIT FOR A STORMWATER MANAGEMENT PLAN (SWMP).
- SEE SHEETS 18-19 OR DESIGN INFORMATION OF ALL DIVERSION DITCHES (DD), SEDIMENT BASINS (SB), AND TEMPORARY SLOPE DRAINS (TSD).
- SHADED BMPs WERE INSTALLED IN THE INITIAL STAGE AND SHALL BE LEFT IN PLACE UNTIL SITE STABILIZATION IS COMPLETE UNLESS OTHERWISE NOTED.

I HAVE REVIEWED THE INFORMATION CONTAINED WITHIN THE STORMWATER MANAGEMENT PLAN AND ACCEPT RESPONSIBILITY FOR THE REQUIREMENTS SET FORTH.	
Owner	Date
I ACKNOWLEDGE MY RESPONSIBILITY FOR THE PREPARATION OF THE STORMWATER MANAGEMENT PLAN.	
Engineer	Date

PROJECT BENCHMARK:

NGS CONTROL MONUMENT "N 62" BEING A STANDARD DISK, STAMPED "N 62 1934" AND SET IN THE TOP OF A CONCRETE POST. MONUMENT IS LOCATED 1.2 MILES SOUTH ALONG THE CHICAGO, BURLINGTON AND QUINCY RAILROAD FROM HUDSON, WELD COUNTY, 0.1 MILE SOUTH OF MILEPOST 514, AT A ROAD CROSSING, 104 FEET WEST OF THE CENTERLINE OF THE TRACK, 34 FEET NORTH OF THE CENTERLINE OF THE ROAD, AND 34 FEET EAST OF THE CENTERLINE OF STATE HIGHWAY 2.

DATUM ELEV. = 4985.64' (NAVD 88)



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Revision Type:
No. 1
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Rev. Date:
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Designed: WWB
Job No.: 4569-0001
Scale Horiz: 1" = 50'
Scale Vert: N/A

Sheet: 9 of 19
Date: April 24, 2024

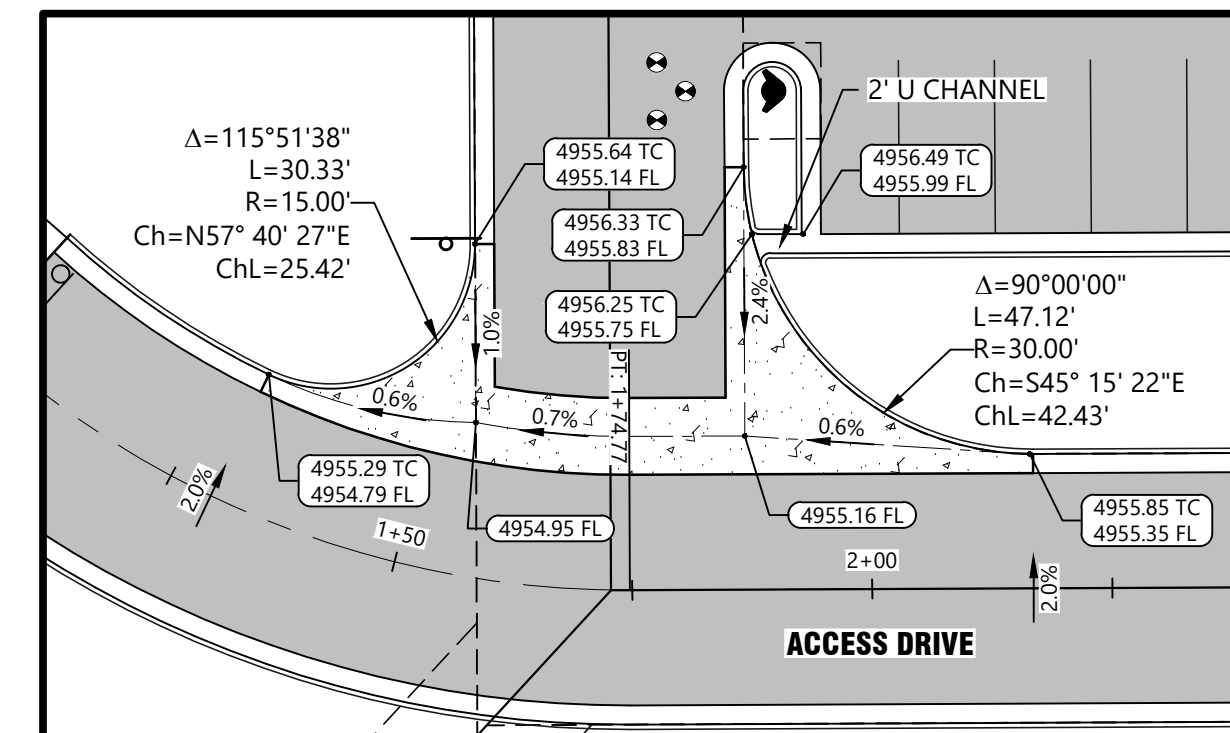
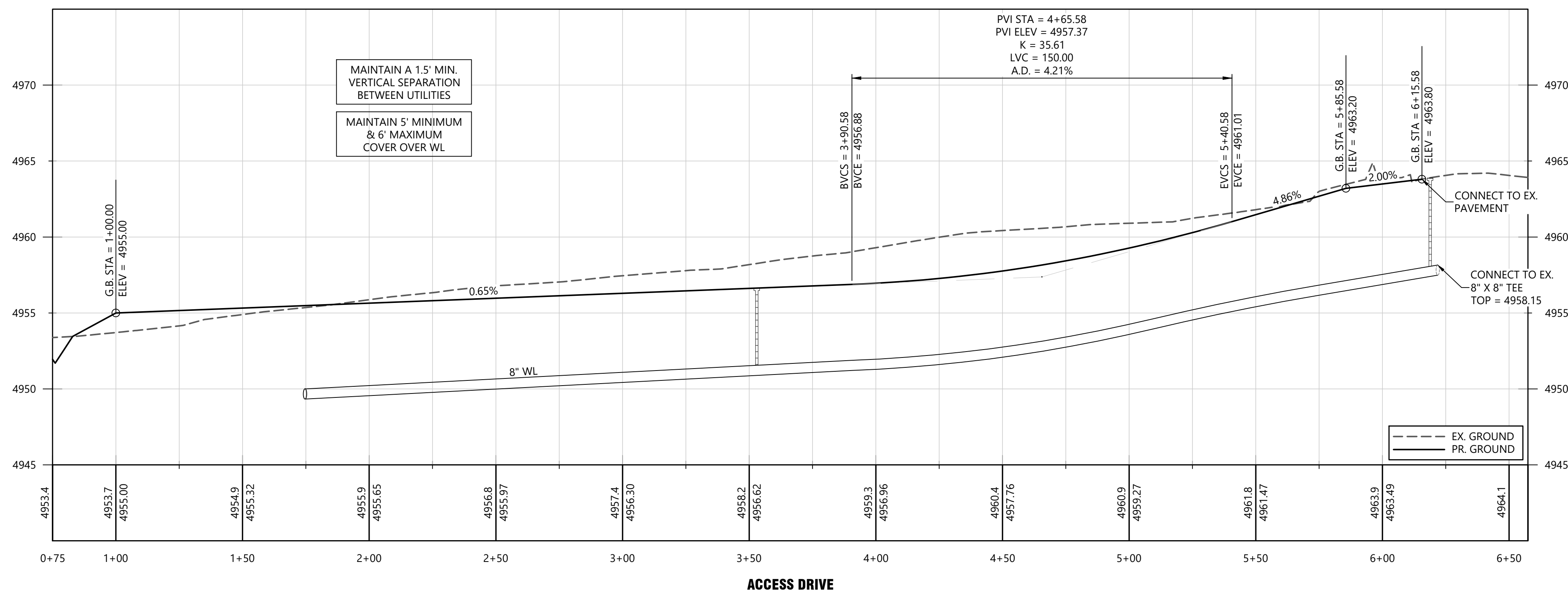
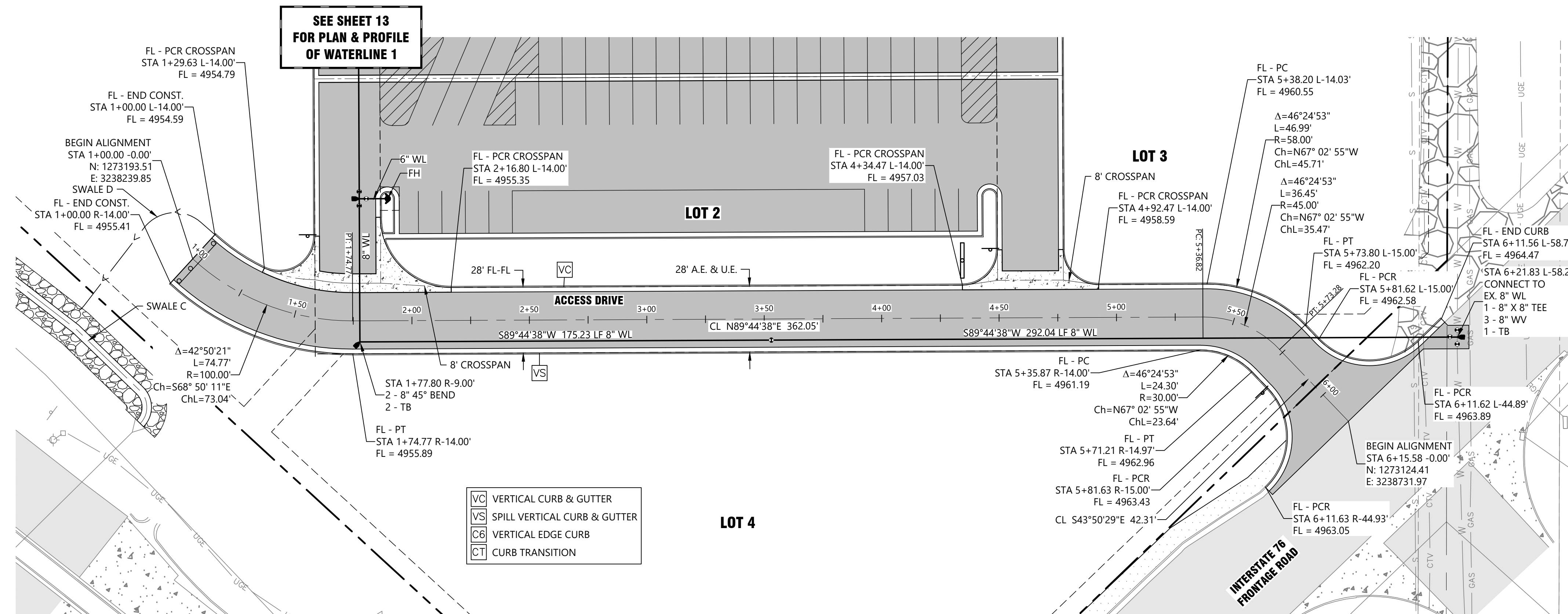
Approved: DKH

Proj. Name: Hudson Commercial
Location: Town of Hudson, CO
Plan Set: Construction Documents
Sheet Name: Interim & Final SWMP Plan

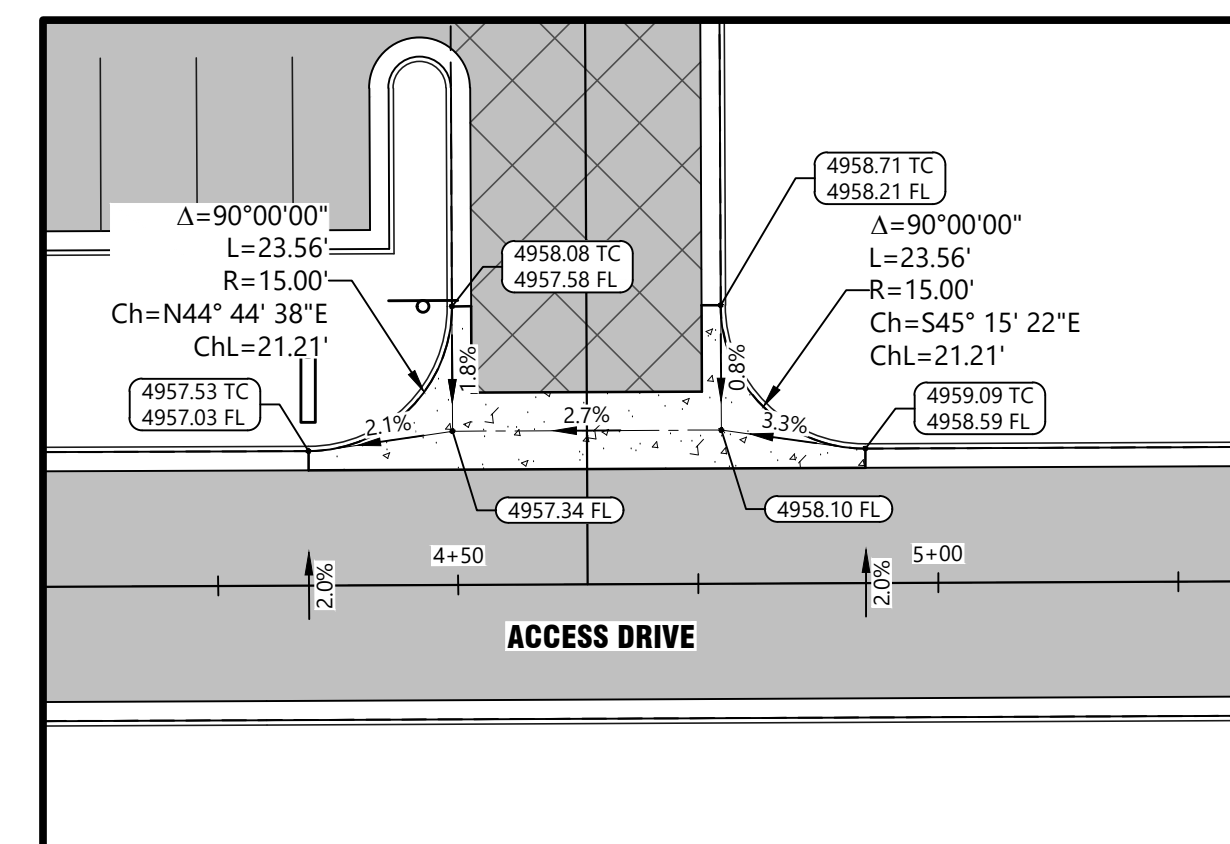
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Know what's below.
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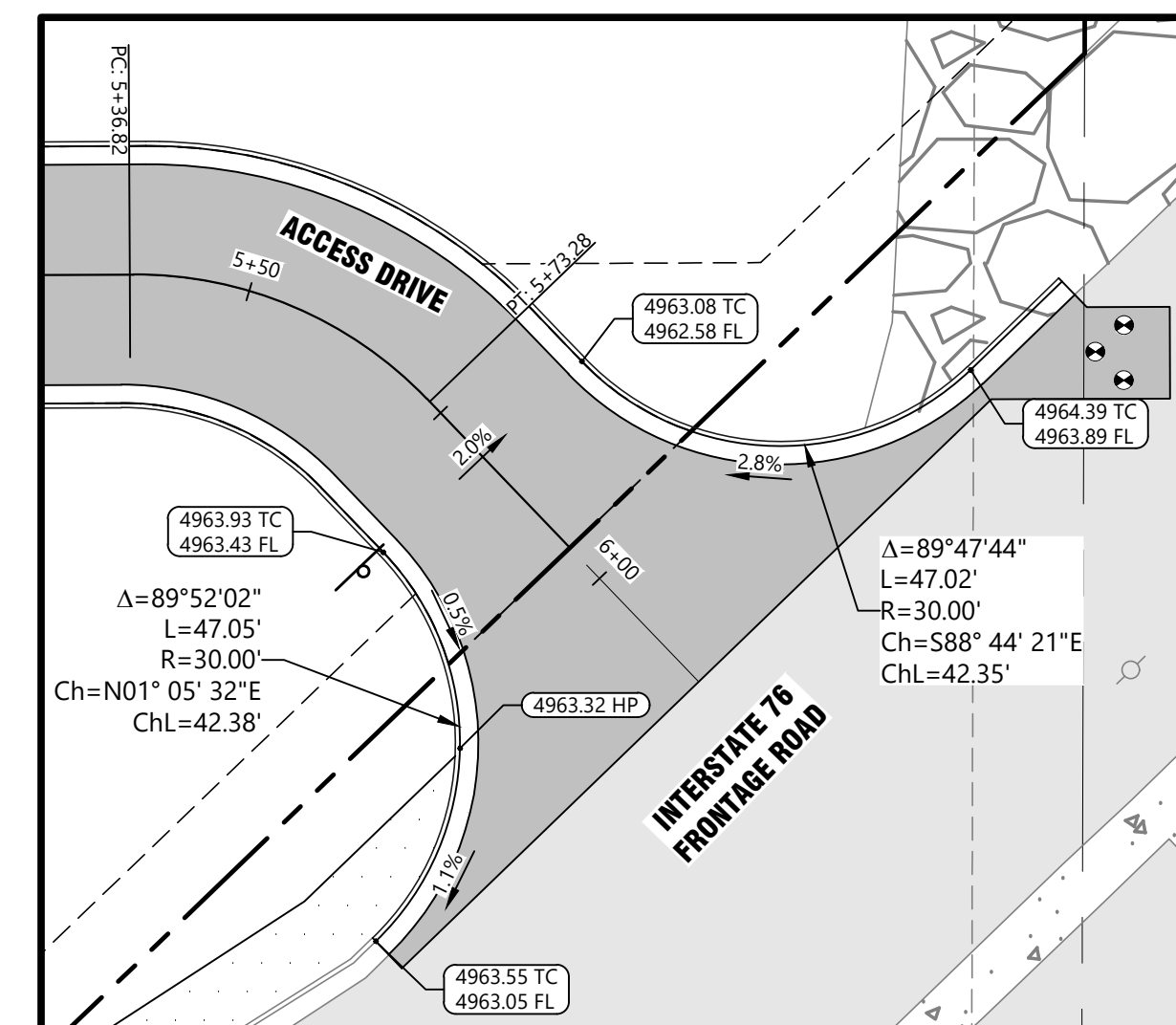
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CURB RETURNS & CROSSPAN
SCALE: 1" = 20'



CURB RETURNS & CROSSPAN
SCALE: 1" = 20'

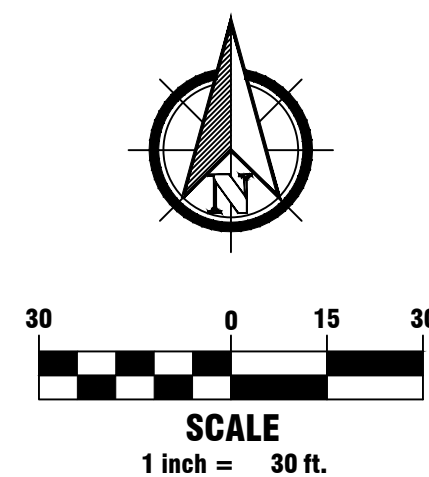


CURB RETURNS
SCALE: 1" = 20'

PROJECT BENCHMARK:

NGS CONTROL MONUMENT "N 62" BEING A STANDARD DISK, STAMPED "N 62 1934" AND SET IN THE TOP OF A CONCRETE POST. MONUMENT IS LOCATED 1.2 MILES SOUTH ALONG THE CHICAGO, BURLINGTON AND QUINCY RAILROAD FROM HUDSON, WELD COUNTY, 0.1 MILE SOUTH OF MILEPOST 514, AT A ROAD CROSSING, 104 FEET WEST OF THE CENTERLINE OF THE TRACK, 34 FEET NORTH OF THE CENTERLINE OF THE ROAD, AND 34 FEET EAST OF THE CENTERLINE OF STATE HIGHWAY 2.

DATUM ELEV. = 4985.64' (NAVD 88)



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Suite 300
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No.	Rev.	Date	Revision Type:
1			
2			
3			
4			
5			
6			
Designed: WWB			Job No.: 4569-0001
Prepared: WWB			Scale Horiz: 1" = 30'
Checked: DWH			Scale Vert: 1" = 5'
Approved: _____			Date: April 24, 2024
			Sheet: 10 of 19

Hudson Commercial
Town of Hudson, CO
Construction Documents
Plan & Profile - Access Drive

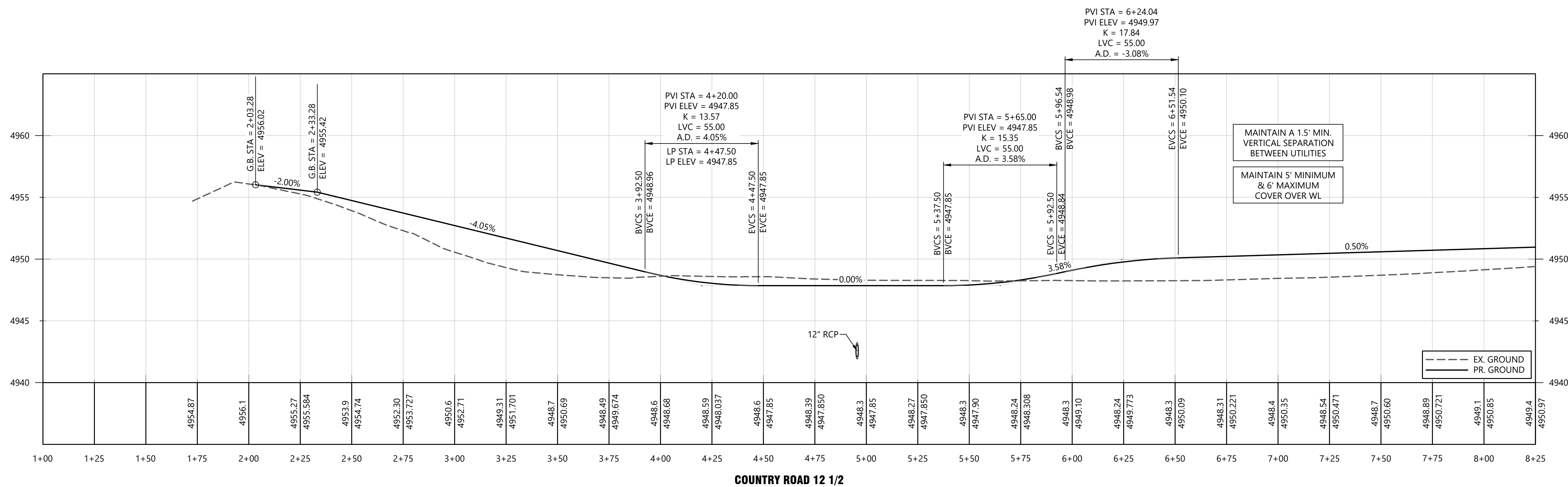
**NOT FOR
CONSTRUCTION**



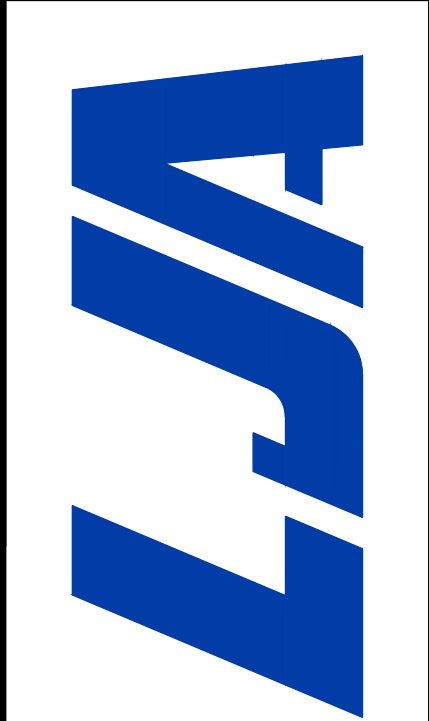
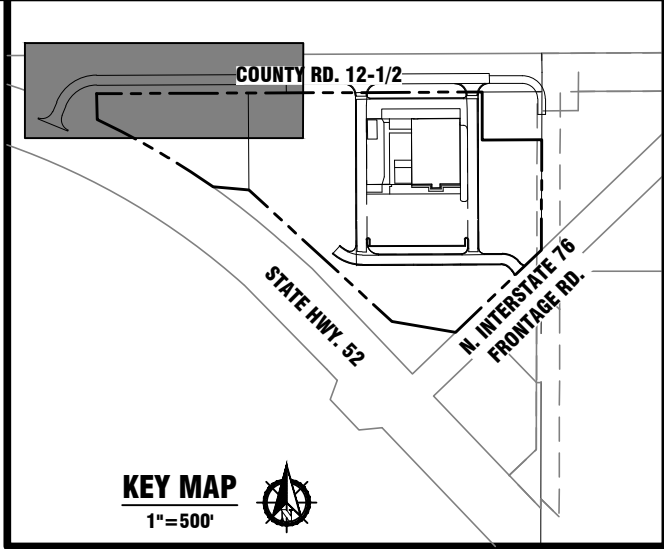
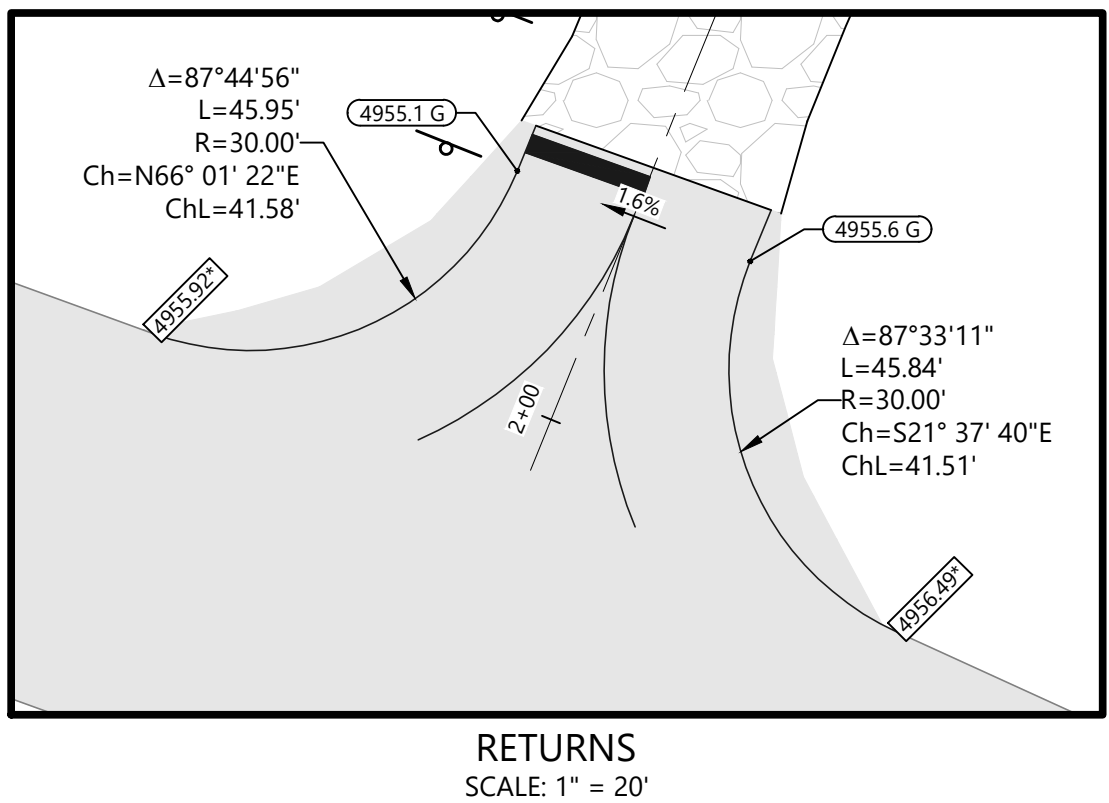
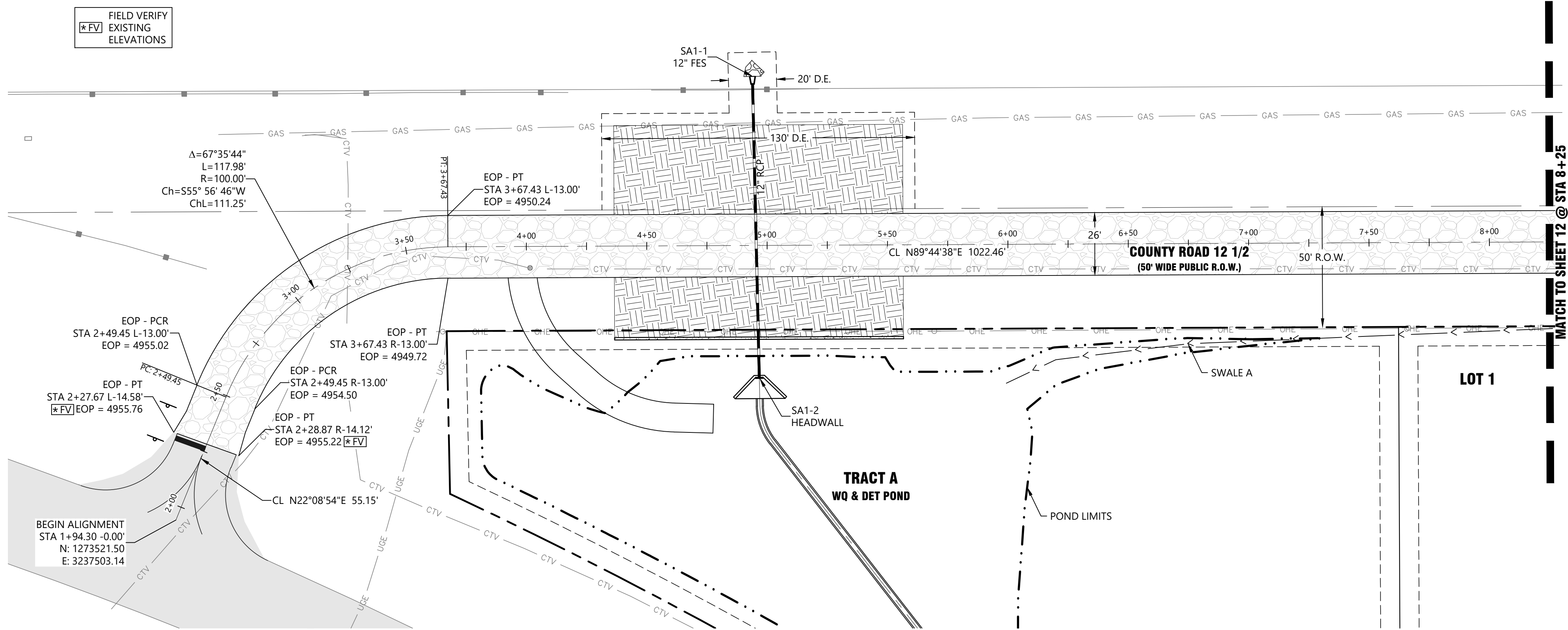
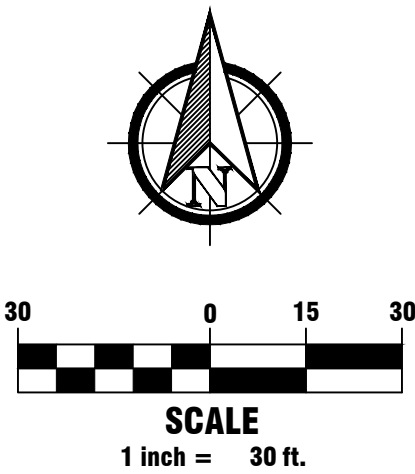
Know what's below.
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No.	10
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I:\JOB FOLDERS\4569-0001\PROD\GDS\PP-CR 12.5 PRINTED ON: 4/24/2024 4:52 PM



PROJECT BENCHMARK:
NGS CONTROL MONUMENT "N 62" BEING A STANDARD DISK, STAMPED "N 62 1934" AND SET IN THE TOP OF A CONCRETE POST. MONUMENT IS LOCATED 1.2 MILES SOUTH ALONG THE CHICAGO, BURLINGTON AND QUINCY RAILROAD FROM HUDSON, WELD COUNTY, 0.1 MILE SOUTH OF MILEPOST 514, AT A ROAD CROSSING, 104 FEET WEST OF THE CENTERLINE OF THE TRACK, 34 FEET NORTH OF THE CENTERLINE OF THE ROAD, AND 34 FEET EAST OF THE CENTERLINE OF STATE HIGHWAY 2.
DATUM ELEV. = 4985.64' (NAVD 88)

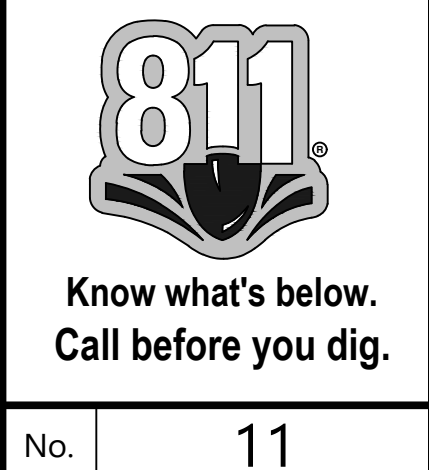


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Revision Type:		Revision Date:		Revision No.:	
1					
2					
3					
4					
5					
6					
Designed: WWB		Job No.: 4569-0001		Sheet: 11 of 19	
Prepared: WWB		Scale Horiz: 1" = 30'		Date: April 24, 2024	
Approved: DKH		Scale Vert: 1" = 5'			

Proj. Name: Hudson Commercial
Location: Town of Hudson, CO
Plan Set: Construction Documents
Sheet Name: Plan & Profile - Country Road 12.5

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No. 11

No.	Rev. Date:	Revision Type:
1		
2		
3		
4		
5		
6		

Hudson Commercial
 Town of Hudson, CO
 Construction Documents

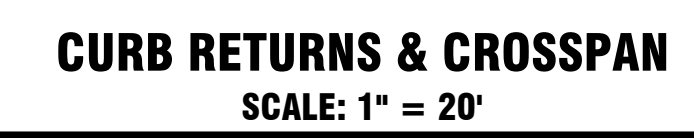
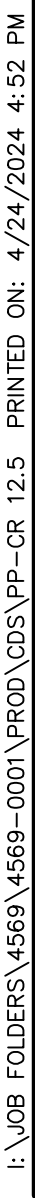
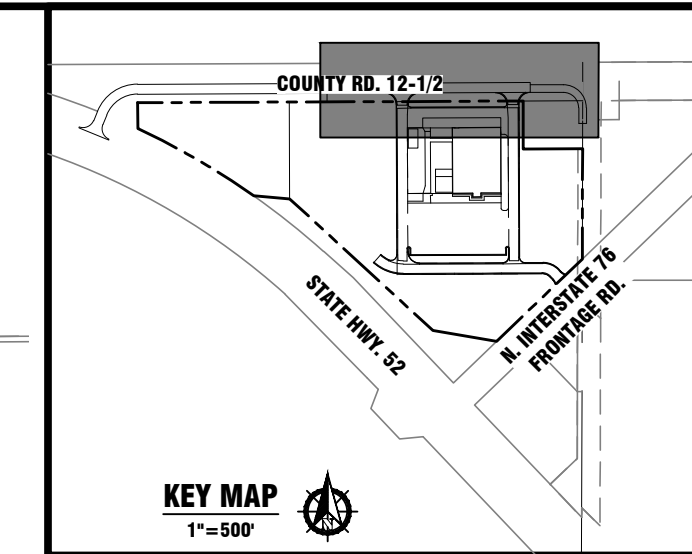
Plan & Profile - Country Road 12.5

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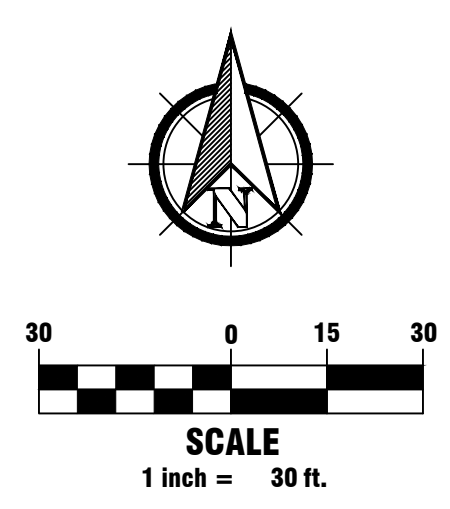
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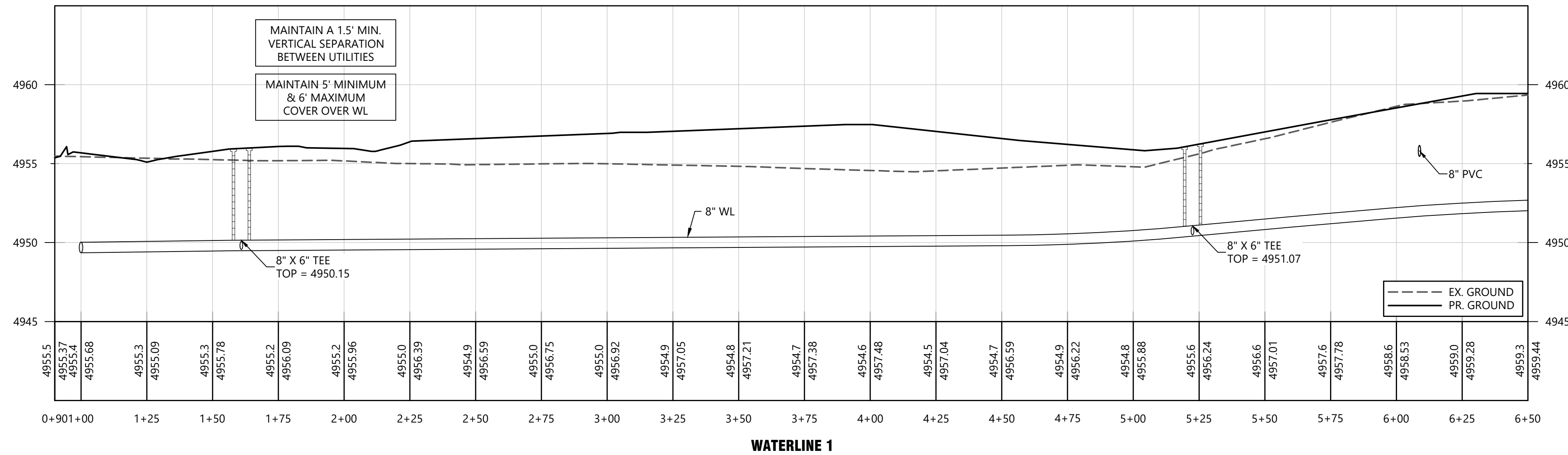
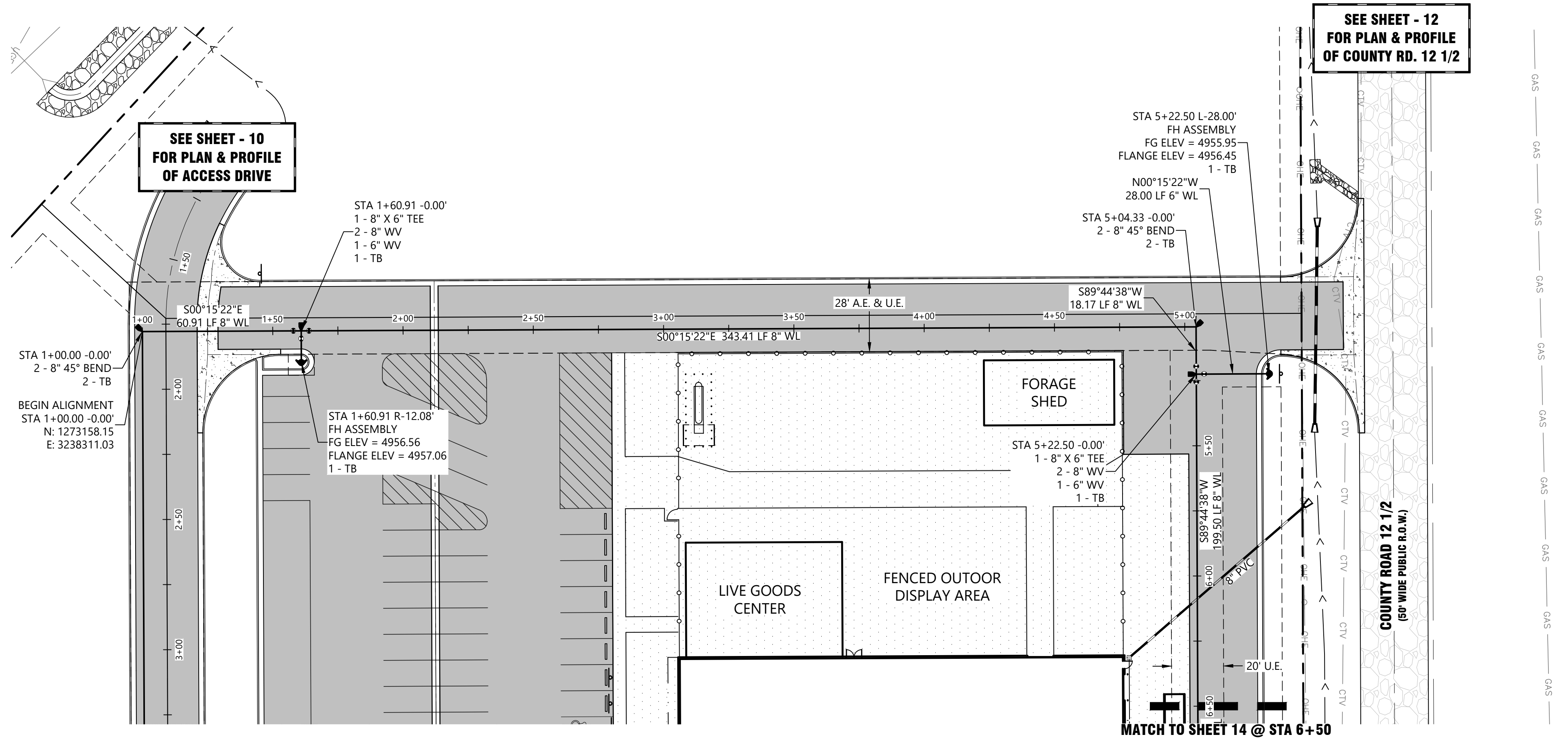
PROJECT BENCHMARK:

NGS CONTROL MONUMENT "N 62" BEING A STANDARD DISK STAMPED "N 62 1934" AND SET IN THE TOP OF A CONCRETE POST. MONUMENT IS LOCATED 2.1 MILES SOUTH ALONG THE CHICAGO, BURLINGTON AND QUINCY RAILROAD FROM HUDSON, WELD COUNTY, 0.1 MILE SOUTH OF MILEPOST 514, AT A ROAD CROSSING, 104 FEET WEST OF THE CENTERLINE OF THE TRACK, 34 FEET NORTH OF THE CENTERLINE OF THE ROAD, AND 34 FEET EAST OF THE CENTERLINE OF STATE HIGHWAY 2.

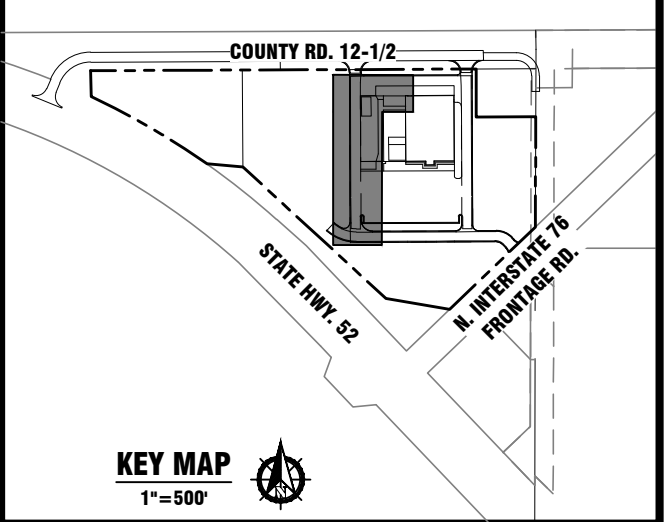
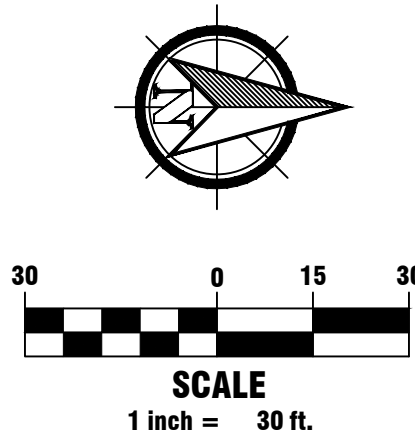
DATUM ELEV. = 4985.64' (NAVD 88)



I:\JOB FOLDERS\4569-0001\PROD\GDS\PP-WATER PRINTED ON: 4/24/2024 4:52 PM



PROJECT BENCHMARK:
NGS CONTROL MONUMENT "N 62" BEING A STANDARD DISK,
STAMPED "N 62 1934" AND SET IN THE TOP OF A CONCRETE
POST. MONUMENT IS LOCATED 1.2 MILES SOUTH ALONG THE
CHICAGO, BURLINGTON AND QUINCY RAILROAD FROM
HUDSON, WELD COUNTY, 0.1 MILE SOUTH OF MILEPOST 514,
AT A ROAD CROSSING, 104 FEET WEST OF THE CENTERLINE OF
THE TRACK, 34 FEET NORTH OF THE CENTERLINE OF THE ROAD,
AND 34 FEET EAST OF THE CENTERLINE OF STATE HIGHWAY 2.
DATUM ELEV. = 4985.64' (NAVD 88)



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No.	Rev. Date:	revision type:	Job No.: 4569-0001	Sheet: 13 of 19
1			Scale Horiz: 1" = 30'	Date:
2			Scale Vert: 1" = 5'	April 24, 2024
3				
4				
5				
6				
Designed: WWB				
Prepared: WWB				
Approved: DKH				

Hudson Commercial
Town of Hudson, CO
Construction Documents
Plan & Profile - Waterline

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CONSTRUCTION



Know what's below.
Call before you dig.

No. 13



**- 14
PROFILE
1. 12-1/2**

BEGIN ALIGNMENT
STA 1+00.00 -0.00'
N: 1273574.54
E: 3238546.85

SAN-3
4' SAN FLAT TOP MH
STA 1+00.00 -0.00'

4' U.E.
8' U.E.
20' U.E.
31' U.E.
7' U.E.
2' - 8" 45° BEND
2 - TB

589°44'38"W
199.50 LF 8" WL
589°44'38"E
56.00 LF 8" SL
589°44'38"W
68.00 LF 8" WL
589°29'24"E
5.92 LF 8" SL
589°26'24"E
73.44 LF 8" SL
589°49'16"W
183.92 LF 8" WL

**TOWN OF HUDSON
R.N. 3820807**

SAN-2
4' SAN FLAT TOP MH
STA 1+56.00 -0.00'

SAN-1
4' SAN MH
STA 2+29.44 -0.00'

EX. LIFT STATION

STA 2+35.36 -0.00'
CONNECT TO
EX. PUMP VAULT

VARIABLE
WIDTH U.E.

EX. 8" WL
EX. GAS
EX. COMMS.

STA 10+72.50 -0.00'
CONNECT TO EX. 8" WL
1 - 8" X 8" TEE
3 - 8" WV
1 - TB

**LOT 2
BUILDING SERVED BY
SHALLOW SANITARY
TRACTOR SUPPLY
126.66' X 171.33'
FFE = 4960.00**

LOT 1

**HUDSON INTERCHANGE
R.N. 3820808**

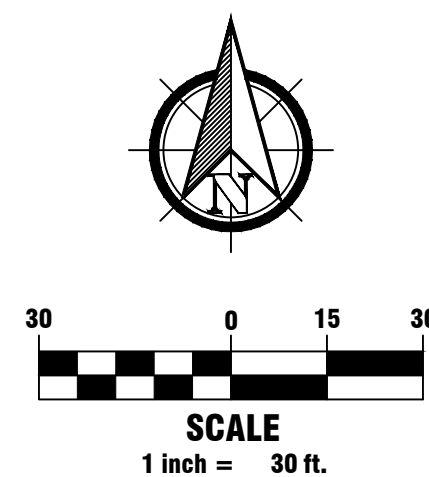
**PUB. SERVICE
COMPANY OF CO
R.N. 4106318**



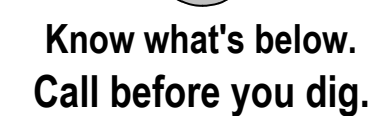
No.	Rev. Date:	Revision Type:
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4		
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6		
Designed:	WWB	Job No. 4569-0001
Prepared:	WWB	Scale Horiz: 1" = 30'
Approved:	DKH	Scale Vert: 1" = 5'
		Sheet: 14 of 19
		Date: April 24, 2024



DATUM ELEV. = 4985.64' (NAVD 88)

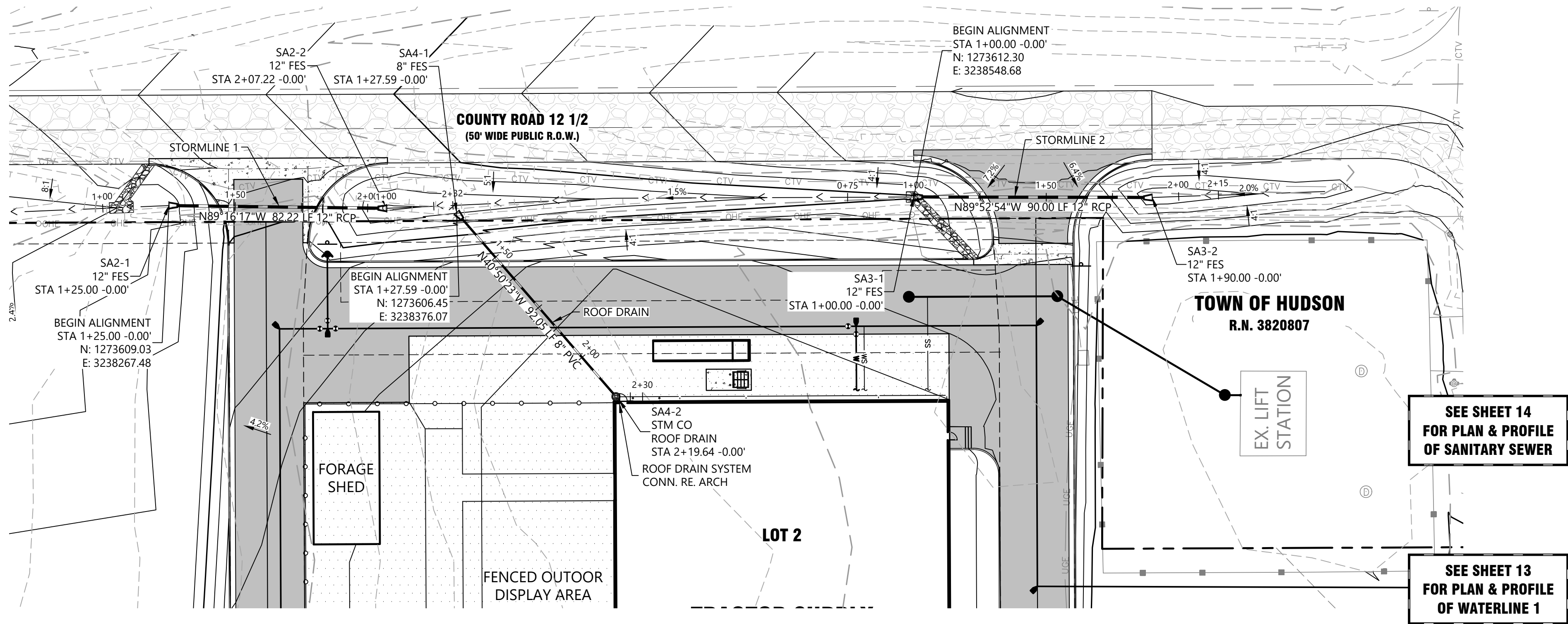


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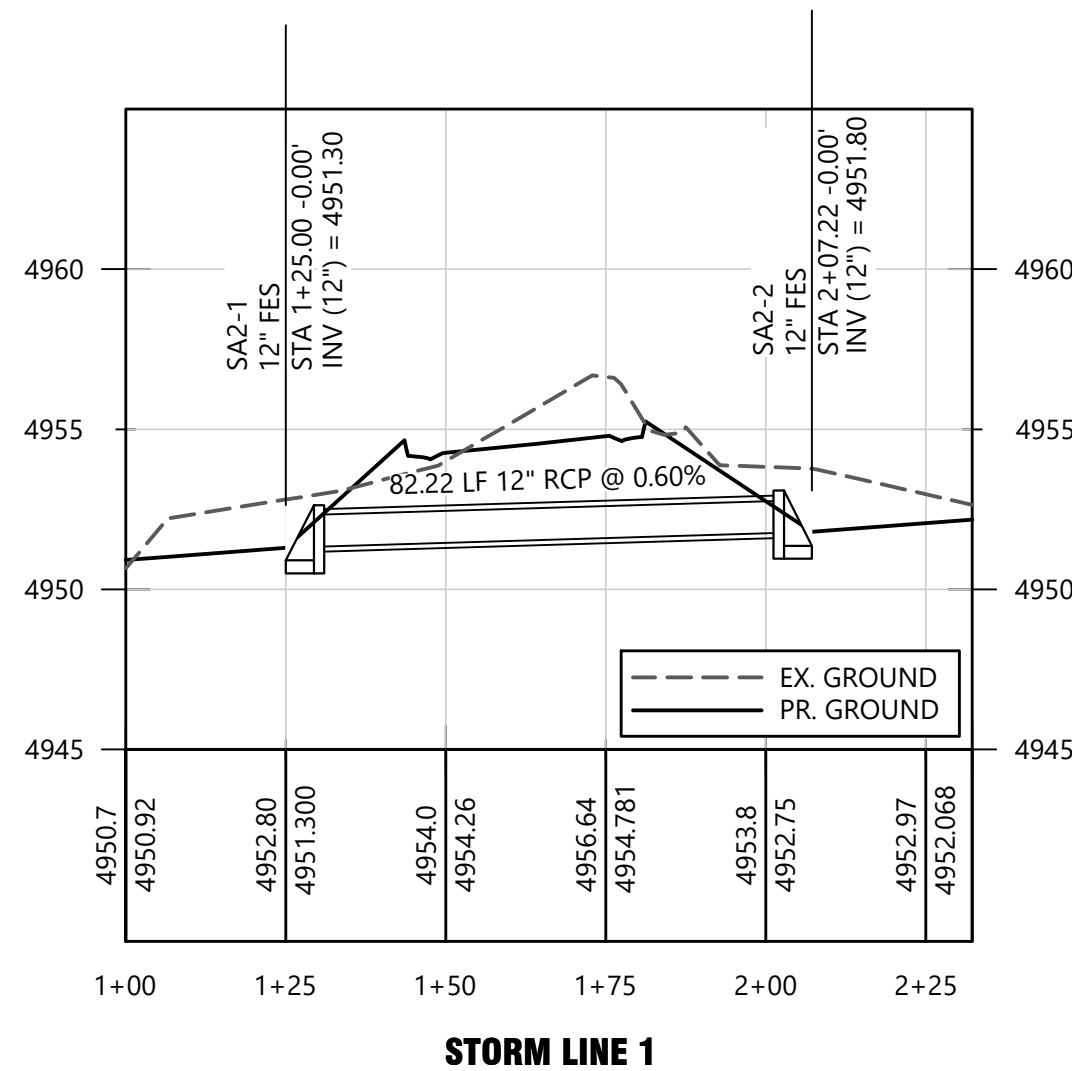
No.	14
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I:\JOB FOLDERS\4569-0001\PROD\GDS\PP-STORM PRINTED ON: 4/24/2024 4:52 PM



SEE SHEET 14
FOR PLAN & PROFILE
OF SANITARY SEWER

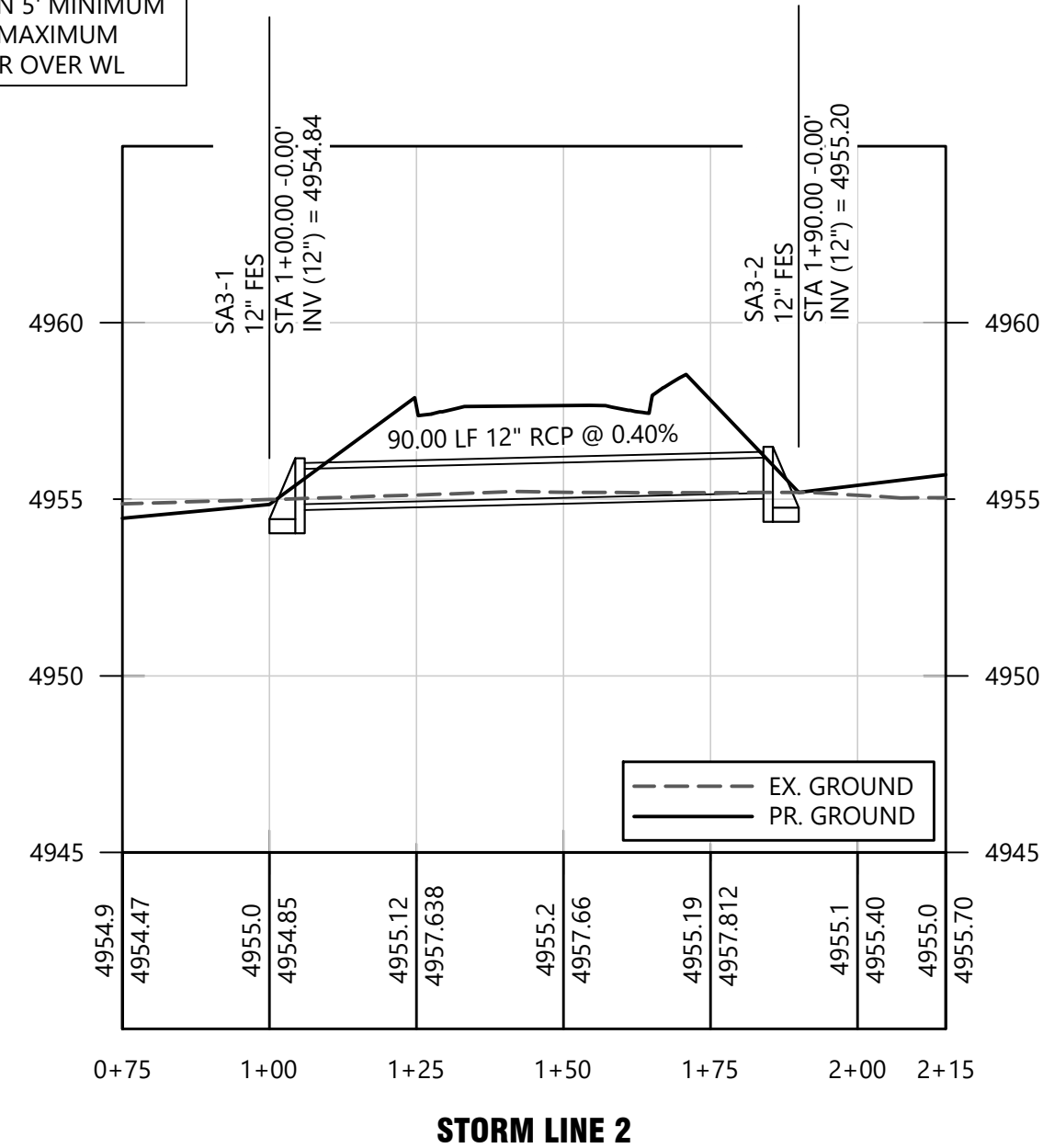
SEE SHEET 13
FOR PLAN & PROFILE
OF WATERLINE 1



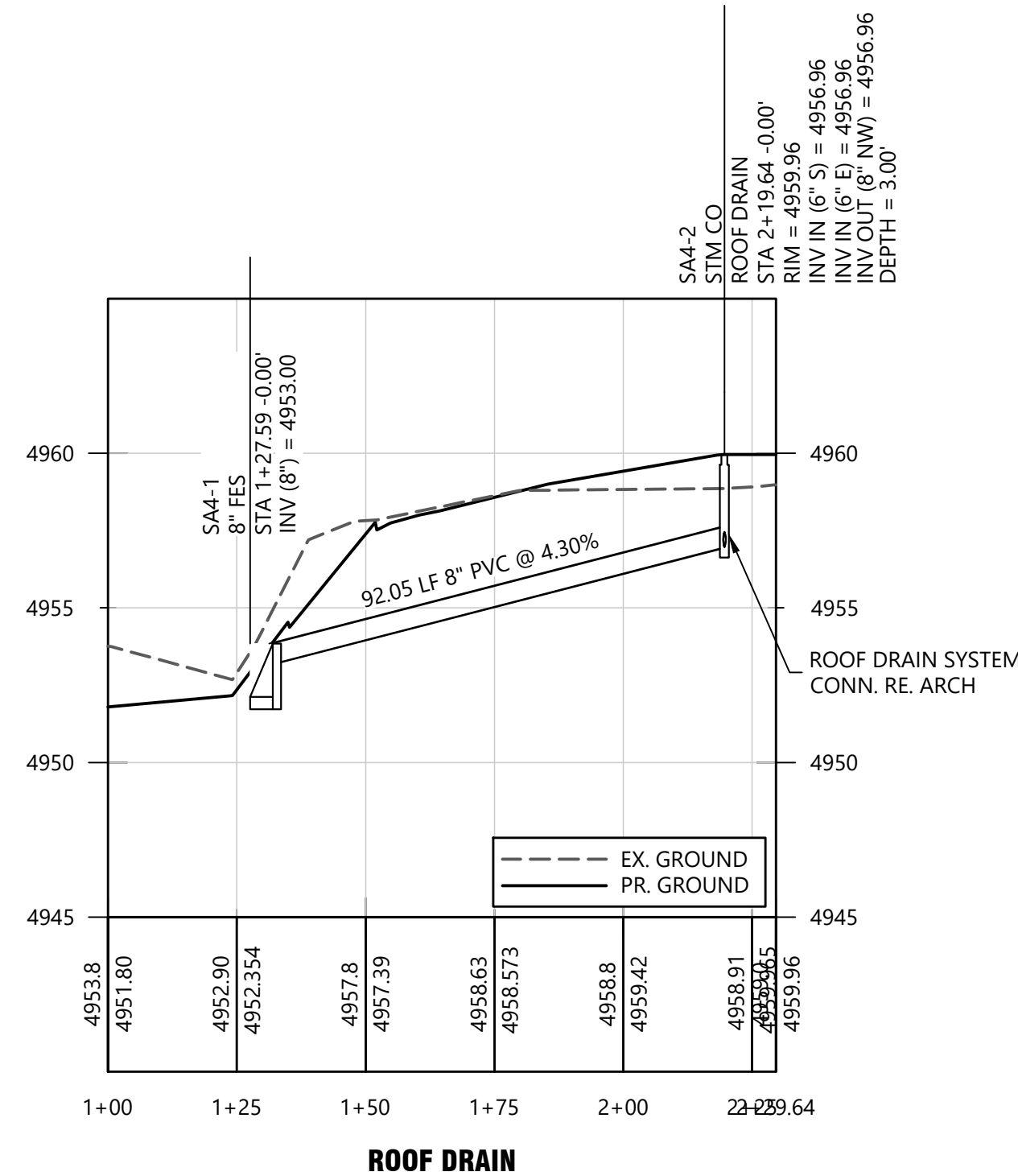
STORM LINE 1

MAINTAIN A 1.5' MIN.
VERTICAL SEPARATION
BETWEEN UTILITIES

MAINTAIN 5' MINIMUM
& 6' MAXIMUM
COVER OVER WL



STORM LINE 2

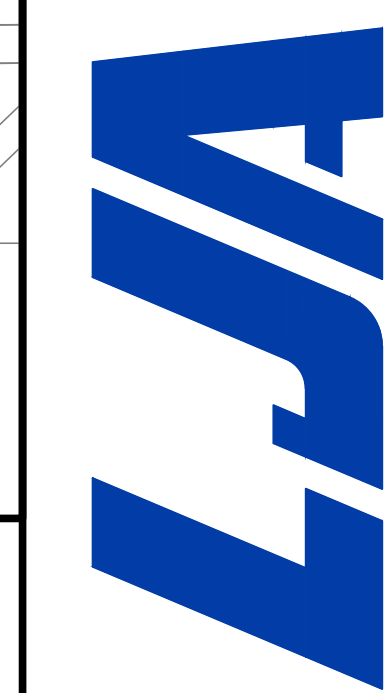
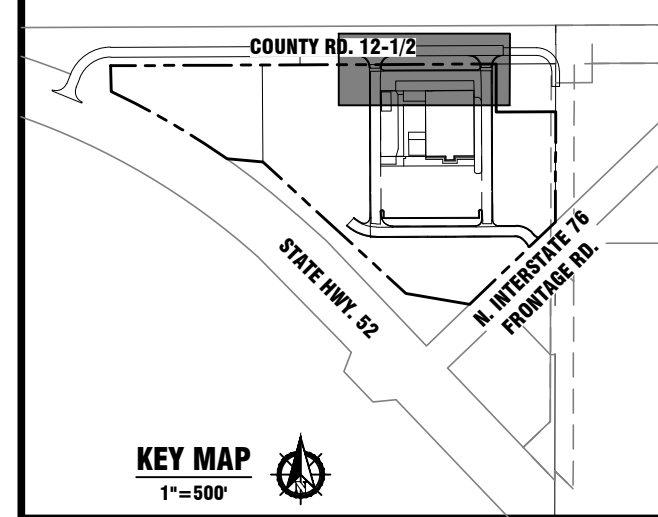
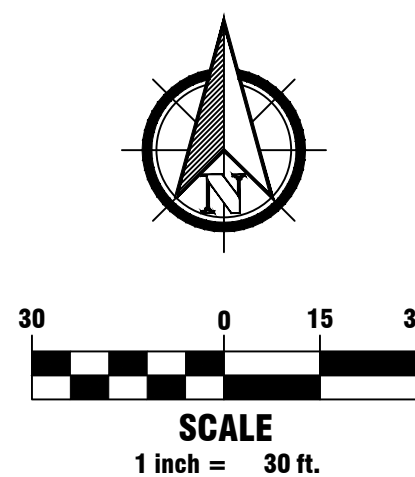


ROOF DRAIN

PROJECT BENCHMARK:

NGS CONTROL MONUMENT "N 62" BEING A STANDARD DISK, STAMPED "N 62 1934" AND SET IN THE TOP OF A CONCRETE POST. MONUMENT IS LOCATED 1.2 MILES SOUTH ALONG THE CHICAGO, BURLINGTON AND QUINCY RAILROAD FROM HUDSON, WELD COUNTY, 0.1 MILE SOUTH OF MILEPOST 514, AT A ROAD CROSSING, 104 FEET WEST OF THE CENTERLINE OF THE TRACK, 34 FEET NORTH OF THE CENTERLINE OF THE ROAD, AND 34 FEET EAST OF THE CENTERLINE OF STATE HIGHWAY 2.

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Designed: WWB	Job No.: 4569-0001	Sheet: 15 of 19
Prepared: WWB	Scale Horiz: 1" = 30'	Date: April 24, 2024
Approved: DKH	Scale Vert: 1" = 5'	

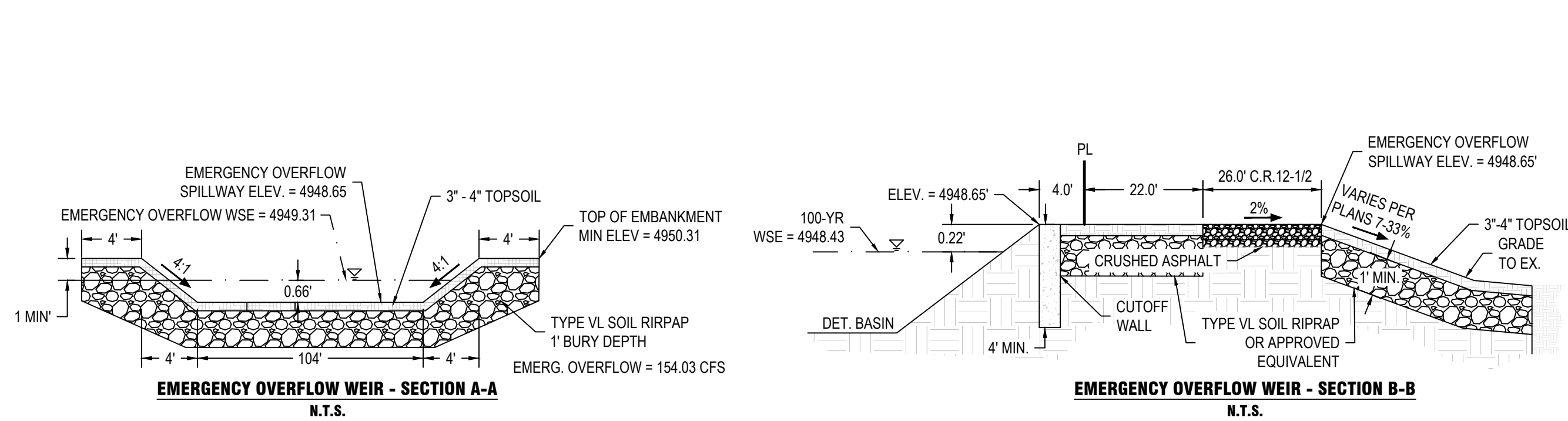
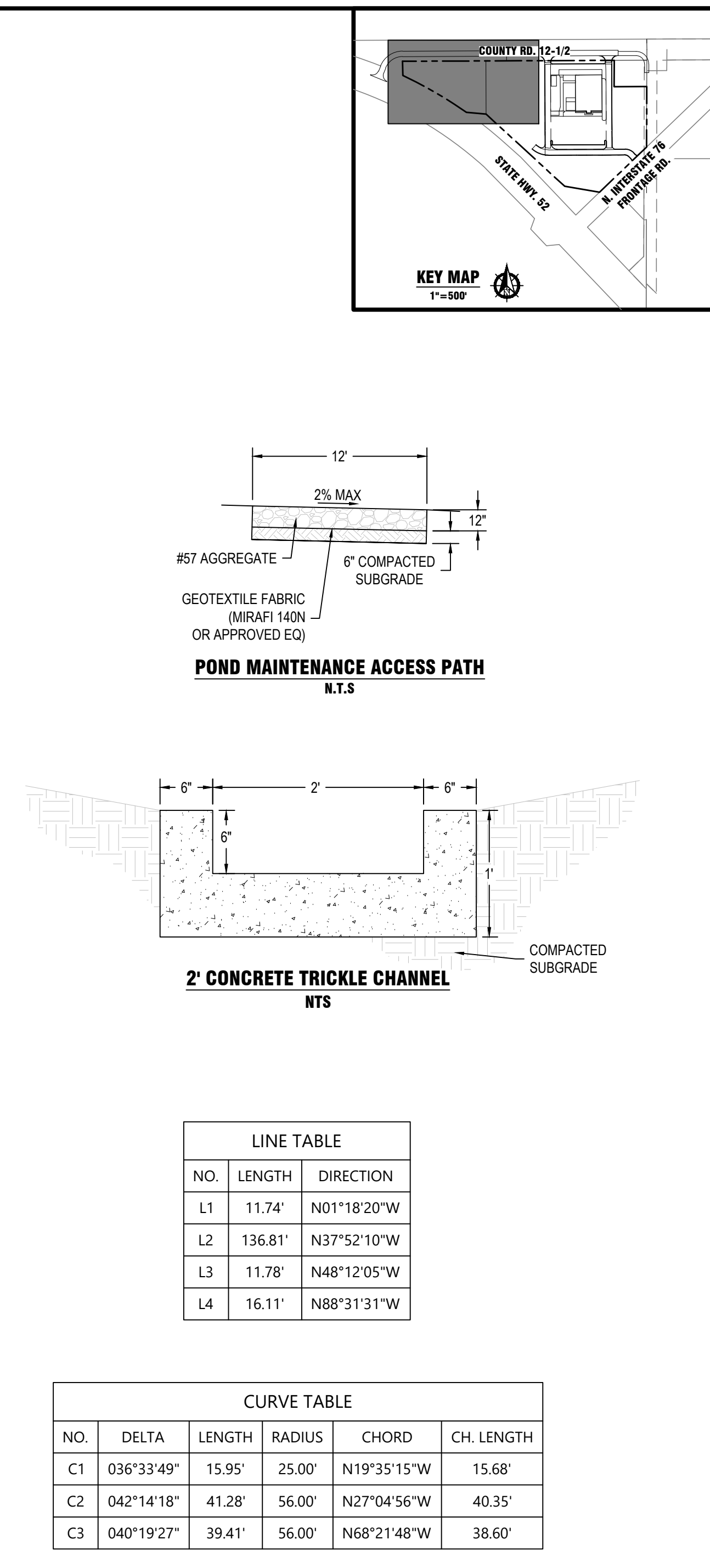
Proj Name: Hudson Commercial
Location: Town of Hudson, CO
Plan Set: Construction Documents
Sheet Name: Plan & Profile - Storm Sewer

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CONSTRUCTION



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No. 15

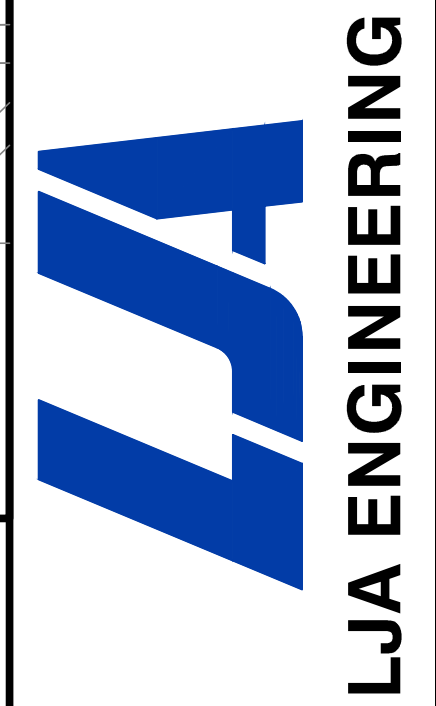
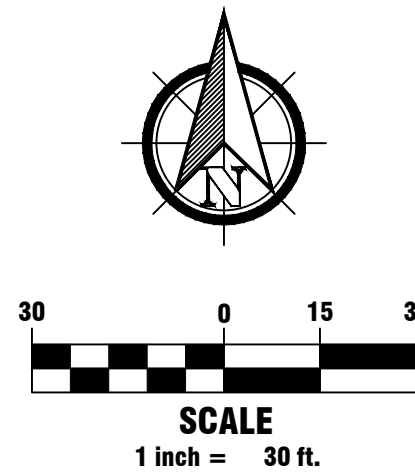


CURVE TABLE					
NO.	DELTA	LENGTH	RADIUS	CHORD	CH. LENGTH
C1	036°33'49"	15.95'	25.00'	N19°35'15"W	15.68'
C2	042°14'18"	41.28'	56.00'	N27°04'56"W	40.35'
C3	040°19'27"	39.41'	56.00'	N68°21'48"W	38.60'

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No.	Rev. Date:	Revision Type:
1		
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3		
4		
5		
6		
Designed:	WWB	Job No.: 4569-0001
Prepared:	WWB	Scale Horiz: 1" = 50'
Approved:	DKH	Scale Vert: N/A
		Sheet: 16 of 19
		Date: April 24, 2024

Hudson Commercial

Town of Hudson, CO

Construction Documents

Detention Pond

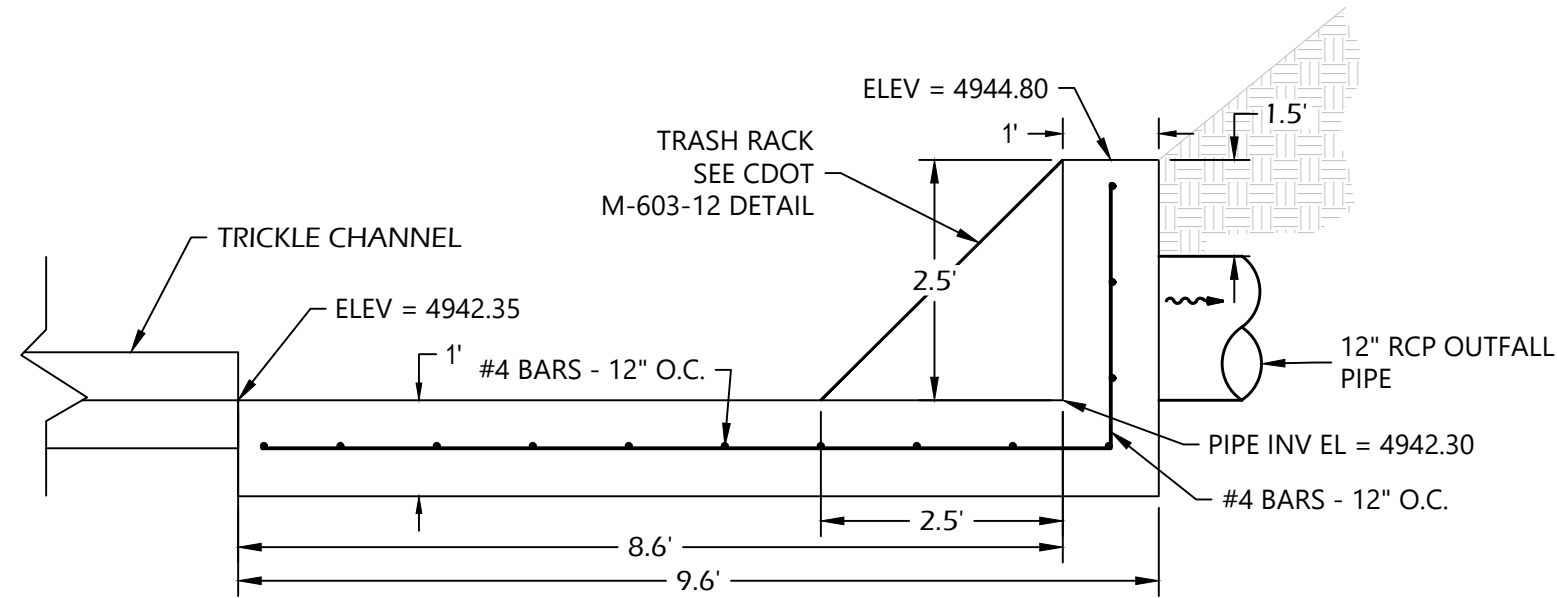
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CONSTRUCTION**



**Know what's below.
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No.	16
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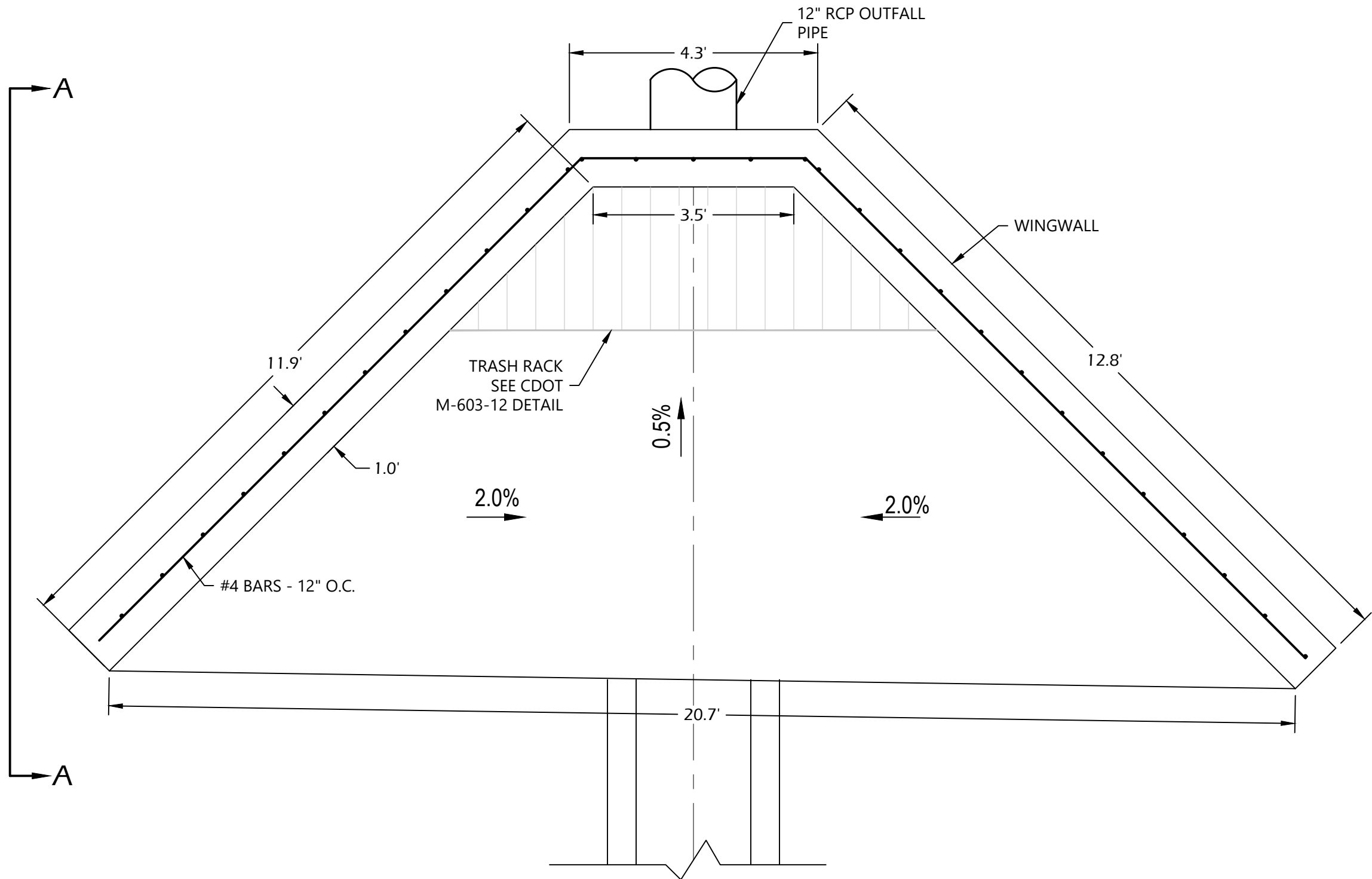
I:\JOB FOLDERS\4569-0001\PROD\CDS\M-POND. PRINTED ON: 4/24/2024 4:53 PM



OUTLET STRUCTURE - SECTION A-A
SCALE: 1" = 2'

NOTES:

1. ALL CONCRETE WORK SHALL CONFORM TO JOHNSTOWN CRITERIA.
2. SUBGRADE COMPACTION SHALL BE 95% STANDARD PROCTOR DENSITY.
3. USE 3/4" Ø CONCRETE WEDGE ANCHORS TO ATTACH PLATE AND TRASH RACK TO BOX WALL.
4. TRASH SCREEN SHALL BE STAINLESS STEEL WELL SCREEN - AMICO KLEMPER SR SERIES ALUMINUM BAR GRATE OR APPROVED EQUIVALENT. SEE DETAIL THIS SHEET.
5. TRASH RACK SHALL BE ABLE TO CARRY A MINIMUM LOAD (LIVE LOAD) EQUAL TO 250 LB/FT^2 OR TWICE THE HYDRAULIC LOADING PLAYED ON THE TRASH RACK DURING A CLOGGED CONDITION AT THE 10-YEAR WATER SURFACE ELEVATION, WHICH EVER IS GREATER.

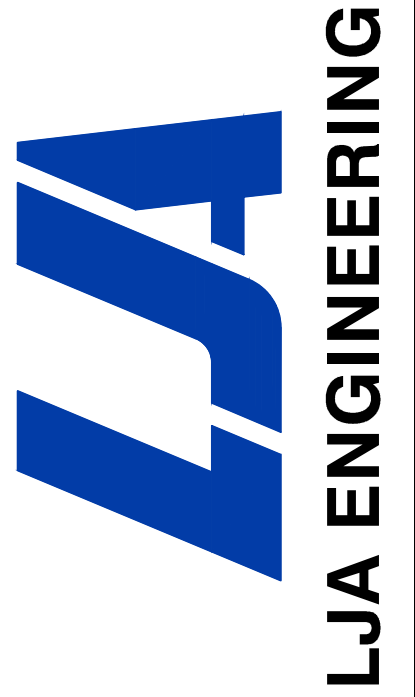
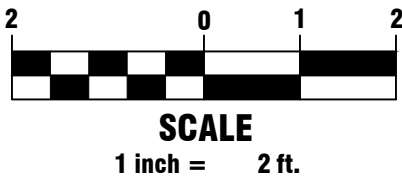


OUTLET STRUCTURE - PLAN VIEW
SCALE: 1" = 2'

PROJECT BENCHMARK:

NGS CONTROL MONUMENT "N 62" BEING A STANDARD DISK, STAMPED "N 62 1934" AND SET IN THE TOP OF A CONCRETE POST. MONUMENT IS LOCATED 1.2 MILES SOUTH ALONG THE CHICAGO, BURLINGTON AND QUINCY RAILROAD FROM HUDSON, WELD COUNTY, 0.1 MILE SOUTH OF MILEPOST 514, AT A ROAD CROSSING, 104 FEET WEST OF THE CENTERLINE OF THE TRACK, 34 FEET NORTH OF THE CENTERLINE OF THE ROAD, AND 34 FEET EAST OF THE CENTERLINE OF STATE HIGHWAY 2.

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Revision Type:		Revision Type:	
No.	Rev. Date:	No.	Rev. Date:
1		1	
2		2	
3		3	
4		4	
5		5	
6		6	
Designed: WWB		Job No.: 4569-0001	
Prepared: DKH		Scale Horiz: 1" = 50'	
Approved:		Scale Vert: N/A	
		Sheet: 17 of 19	
		Date: April 24, 2024	

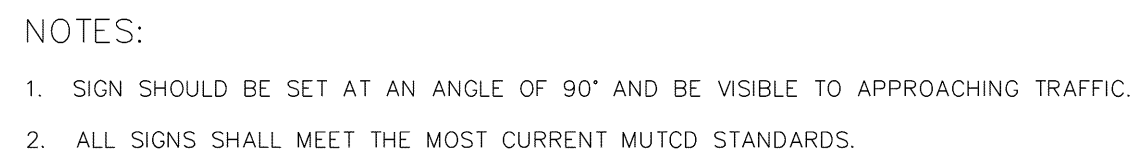
Proj Name: Hudson Commercial
Location: Town of Hudson, CO
Plan Set: Construction Documents
Sheet Name: Pond Details

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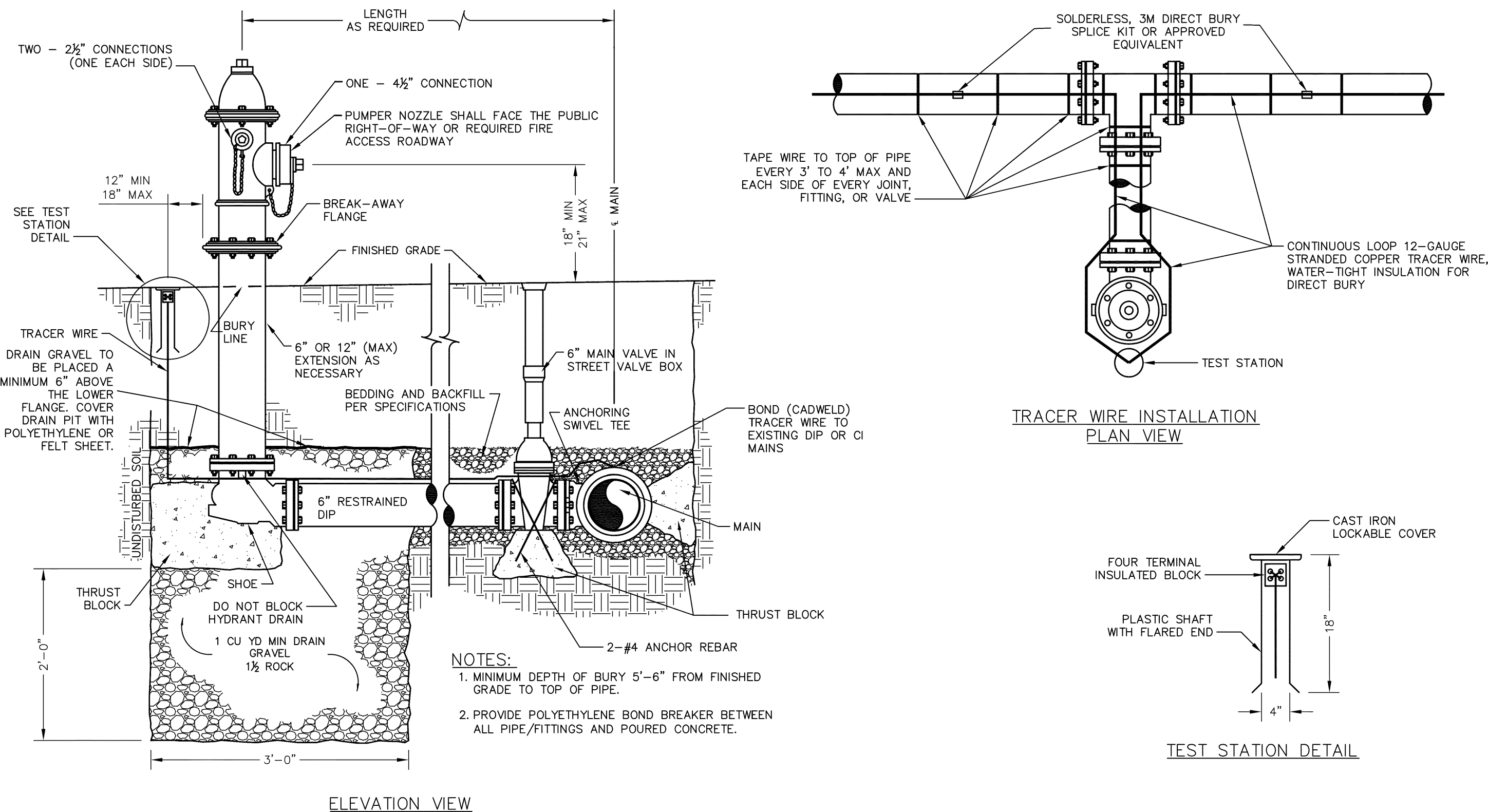
No. 17



DETAIL NO. S-46

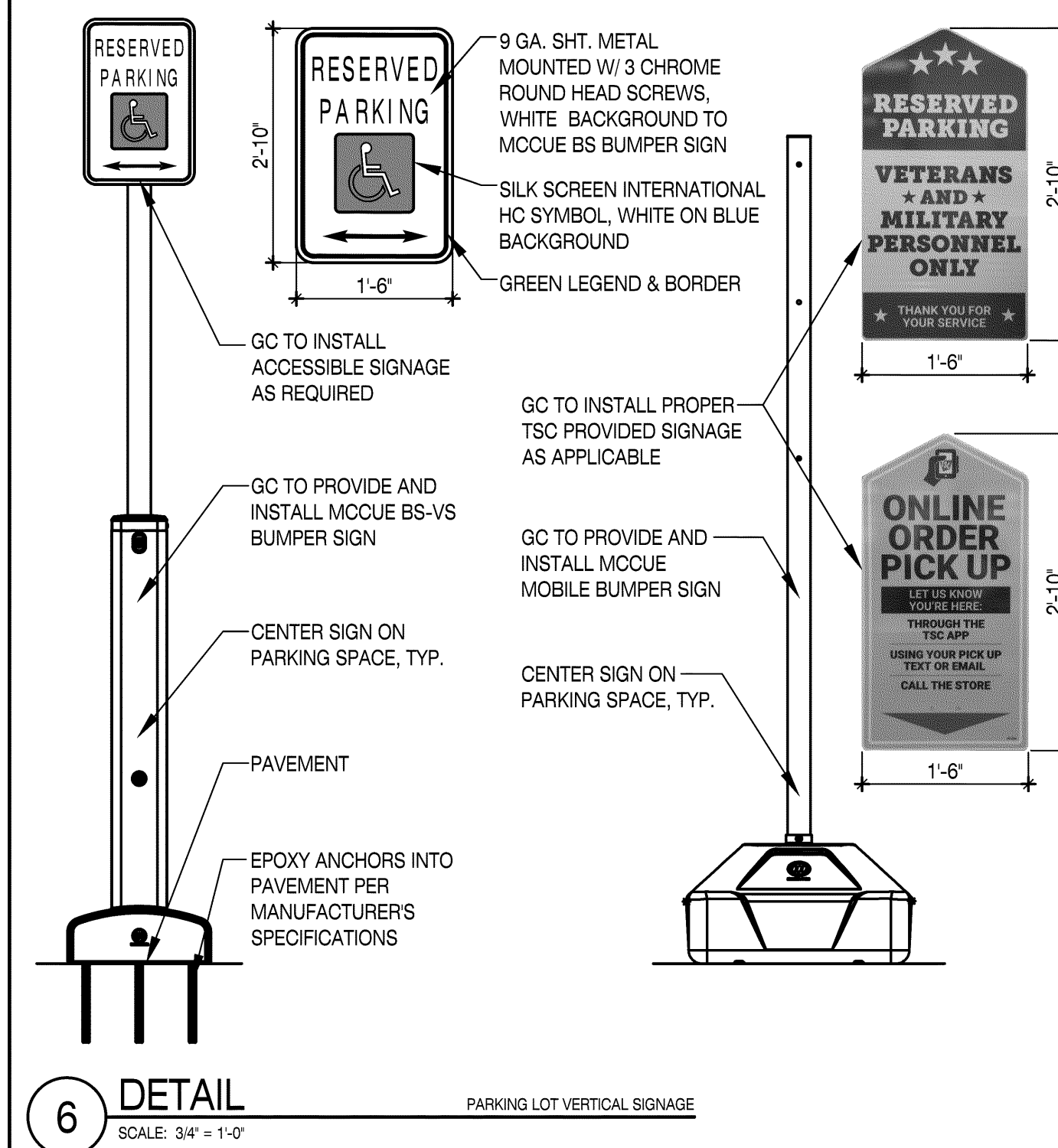
DATE: JULY, 2015

SCALE: N.T.S.



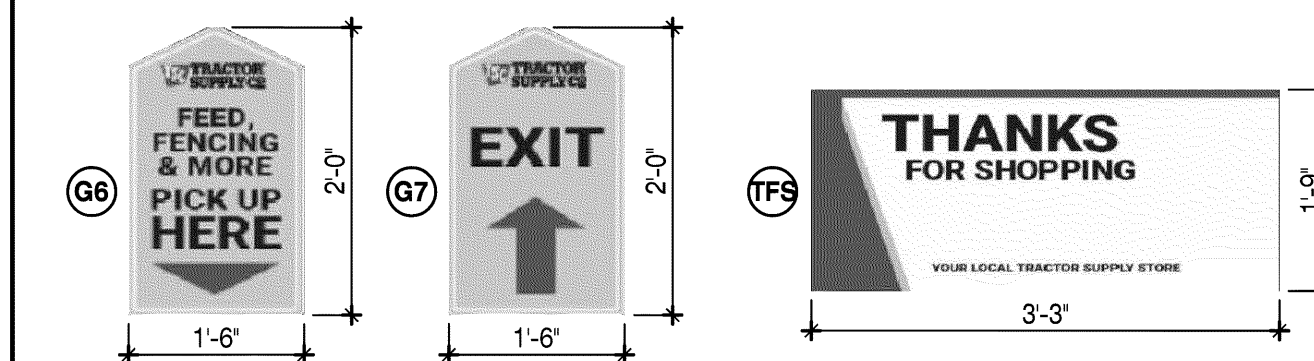
DETAIL NO. W-1

SCALE: N.T.S.

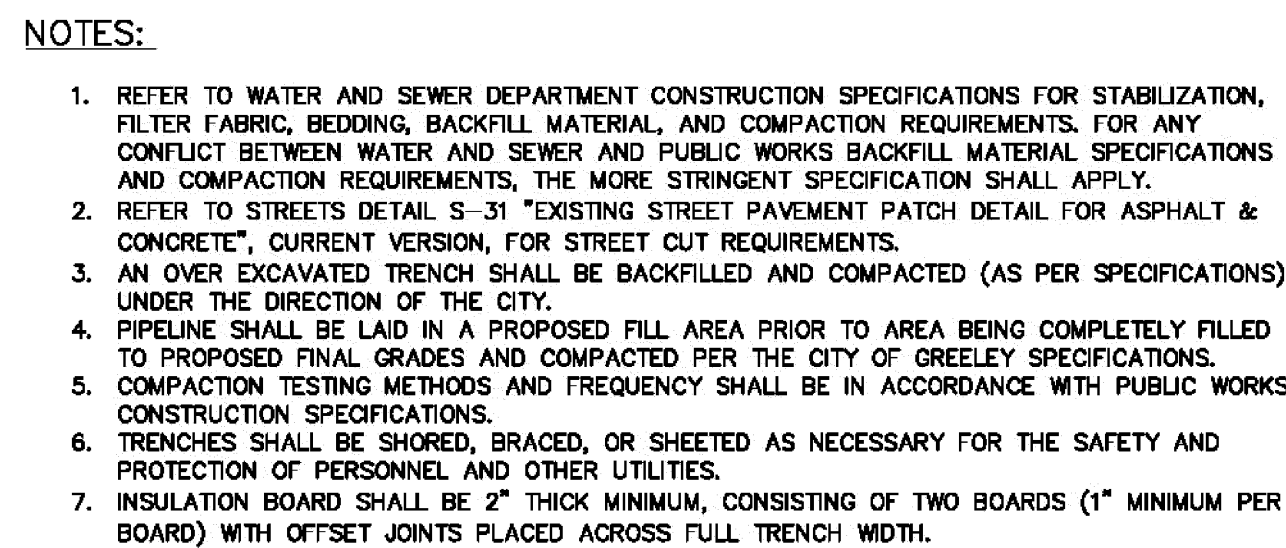


TS# CID AND SIGN DESCRIPTION	MOUNTING LOCATION	SUGGESTED MOUNTING METHOD
G6 - POLE SIGN: FEED, FENCING & MORE (18" X 24")	RIGHT SIDE OF FEED ROOM OVERHEAD DOOR	ON 2.5" DIA. GALVANIZED METAL POLE USING U-BOLTS
G7 - POLE SIGN: EXIT SIGN (18" X 24")	LEFT SIDE OF REAR DRIVE THRU FENCE GATE	ON 2.5" DIA. GALVANIZED METAL POLE USING U-BOLTS
TFS - GATE SIGN: THANKS FOR SHOPPING (39" X 21")	ON FRONT SIDE OF REAR DRIVE THRU FENCE GATE	YUNKER WILL SEND A UHOOK FOR INSTALLATION

*CONFIRM EXACT LOCATION WITH FINAL FIXTURE PLAN



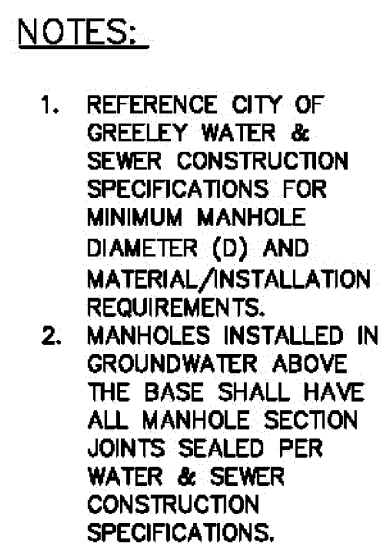
7 DETAIL FOD LOT VERTICAL SIGNAGE
SCALE: 3/4" = 1'-0"



DETAIL NO. WS-2

DATE: JANUARY, 2008

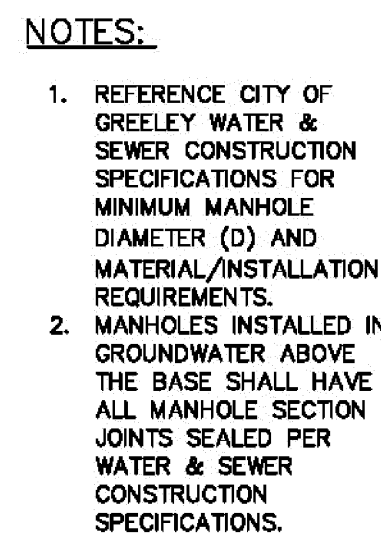
SCALE: N.T.S.



DETAIL NO. SS-3

DATE: JANUARY, 2008

SCALE: N.T.S.



DETAIL NO. SS-1

DATE: JANUARY, 2008

SCALE: N.T.S.

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Designed:	WWB	Job No.: 4569-0001
Prepared:	WWB	Scale Horiz: N/A
Approved:	DKH	Scale Vert: N/A
		Date: April 24, 2024
		Sheet: 18 of 19

Hudson Commercial

Town of Hudson, CO

Construction Documents

Detail Sheet



Know what's below.
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No.	18
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