



Otak Architecture, Inc.

Addendum One (01)

Project Info:
Aspen Parks & Open Space
585 Cemetery Lane

Prepared By: Tom Hoover
Otak, Inc.
1144 Wazee St., Suite 100, Denver, CO. 8020

Date: 2024-11-15

Project No. 21089

The following pages are modified as noted as part of the bid information to all bidding contractors;

Sheet A2.01a-Reference to sheet A7.01 for Finish schedule

Sheet A2.01b-Reference to sheet A7.01 for Finish Schedule

Sheet A6.05-Reference to sheet A7.01 for Finish schedule

Sheet A6.06-Reference to sheet A7.01 for Finish Schedule

Sheet G0.00-General Contractor is T.B.D. at Bid.

Attachments:

24"x36" sheet G0.00, A2.01a, A2.01b, A6.06

ASPEN P&OS - OFFICE RENOVATION

CODE EDITIONS:

BUILDING CODE: THE 2021 INTERNATIONAL BUILDING CODE
MECHANICAL CODE: THE 2021 INTERNATIONAL MECHANICAL CODE
PLUMBING CODE: 2021 INTERNATIONAL PLUMBING CODE
FUEL GAS CODE: 2021 INTERNATIONAL FUEL GAS CODE
ENERGY CODE: 2021 ASPEN ENERGY CODE
FIRE CODE: 2021 INTERNATIONAL FIRE CODE

FIRE SPRINKLERS:

EXISTING SPRINKLER SYSTEM WILL BE ADJUSTED TO COMPLY WITH NFPA 13.

ENERGY CODE PATH:

ASHRAE 90.1 - 2019 APPENDIX G PERFORMANCE RATING METHOD, AS REQUIRED BY SECTION C401.2.2 OF THE 2021 ASPEN ENERGY CODE.

PROJECT INFORMATION

SITE
ADDRESS: 585 CEMETARY LANE, ASPEN, CO 81611
LEGAL DESCRIPTION: ASPEN GOLF COURSE 273511109001
TOTAL SITE: 4.654 ACRES
ZONING: P

BUILDING SUMMARY

THE PROJECT WILL RENOVATE TWO EXISTING BUILDINGS AND ADD EXTERIOR CANOPY STRUCTURES FOR BIKE PARKING AND TO EXPAND THE WORK AREA ADJACENT TO THE EXISTING LOWER PARKS BUILDING. THE PARKS OFFICE BUILDING INCLUDES TWO VESTIBULE ADDITIONS, BASEMENT AND INTERIOR RENOVATIONS, AND STRUCTURAL AND MECHANICAL UPGRADES. THE LOWER PARKS BUILDING INCLUDES INTERIOR RENOVATIONS.

BUILDING DATA

PARKS OFFICE BUILDING - EXISTING

CONSTRUCTION TYPE	TYPE VB
NUMBER OF FLOORS	1 STORY (+1 BASEMENT)
BUILDING AREA	4,161 SF
BUILDING HEIGHT	~25'-6"

PARKS OFFICE BUILDING - PROPOSED

CONSTRUCTION TYPE	TYPE VB
NUMBER OF FLOORS	1 STORY (+1 BASEMENT)
BUILDING AREA	4,293 SF
BUILDING HEIGHT	~25'-6"

LOWER PARKS BUILDING - EXISTING

CONSTRUCTION TYPE	TYPE VB
NUMBER OF FLOORS	1
BUILDING AREA	3,760 SF
BUILDING HEIGHT	~10'-9"

LOWER PARKS BUILDING - PROPOSED

CONSTRUCTION TYPE	TYPE VB
NUMBER OF FLOORS	1
BUILDING AREA	3,760 SF
BUILDING HEIGHT	~10'-9"

GENERAL NOTES

- THE INFORMATION HEREIN IS OF A PROPRIETARY NATURE AND IS SUBMITTED IN CONFIDENCE FOR USE BY OTAK, INC. CLIENTS ONLY. IT HAS BEEN PREPARED FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF OTAK, INC. UNAUTHORIZED REPRODUCTION, PUBLICATION, OR DISSEMINATION, IN WHOLE OR IN PART, IS EXPRESSLY PROHIBITED. INFORMATION CONTAINED HEREIN REMAINS PROPERTY OF OTAK, INC. AND RECEIPT OR POSSESSION OF THIS INFORMATION CONFERS NO RIGHT IN OR LICENSE TO USE OR DISCLOSE TO OTHERS THE SUBJECT MATTER CONTAINED HEREIN FOR ANY BUT AUTHORIZED PURPOSES. ALL RIGHTS RESERVED. COPYRIGHT 2024.
- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR, CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY, AND OTHER CONDITIONS), DRAWINGS, SPECIFICATIONS, ADDENDA ISSUED PRIOR TO AGREEMENT, AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT.
- ANY DOCUMENT IN THIS SET WHICH HAS BEEN PREPARED BY ANY SUBCONTRACTOR, DESIGNER, AND/OR SUBCONSULTANT WHO IS UNDER A CONTRACT DIRECTLY WITH THE OWNER AND/OR CONTRACTOR IS ONLY INCLUDED IN THIS SET FOR PURPOSES OF REFERENCE AND COORDINATION. OTAK DISCLAIMS ALL LIABILITY RELATING TO THE DRAWING AND CONSTRUCTION OF THE IMPROVEMENTS OR SYSTEMS IT DEPICTS EXCEPT AS SPECIFICALLY ASSUMED IN A WRITTEN CONTRACT SIGNED BY OTAK AND THE OWNER.
- THE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE THROUGH WHICH THE WORK TO BE EXECUTED BY THE CONTRACTOR IS DESCRIBED. UNLESS INDICATED OTHERWISE, THE ARCHITECT AND ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS OF THEM AND WILL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, IN ADDITION TO THE COPYRIGHTS.
- IF COORDINATION OF ARCHITECTURAL, CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND SPRINKLER ELEMENTS RESULT IN CONFLICTS, NOTIFY ARCHITECT IMMEDIATELY PRIOR TO COMMENCING ANY WORK OF ELEMENTS RESULTING IN CONFLICTS.
- SLOPE ALL GRADES AT PLANTING AREAS, SIDEWALKS, AND ASPHALT PARKING PAVING WITHIN 5' OF A BUILDING AWAY FROM THE BUILDING. IF CONFLICTS OCCUR, NOTIFY ARCHITECT IMMEDIATELY. SEE CIVIL DRAWINGS FOR FINISHED GRADES ADJACENT TO BUILDINGS.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK.
- DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS AND SHALL MAINTAIN THE STRUCTURAL INTEGRITY OF CONSTRUCTION UNTIL FINAL LATERAL AND VERTICAL CARRYING SYSTEMS ARE COMPLETED.
- DIMENSIONS ARE SHOWN TO FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY, GRID/COLUMN LINE, CENTERLINE OF ELEMENT, COUNTERTOP EDGE, OR AS NOTED.
- CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF SUBCONTRACTOR WORK, COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS, AND ACCURATE LOCATION OF STRUCTURAL MEMBERS AND OPENINGS FOR MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT. CONTRACTOR SHALL VERIFY DIMENSIONS AND OPENING SIZES (INCLUDING CLEARANCES REQUIRED) FROM THE MANUFACTURERS PRIOR TO CONSTRUCTION OR INSTALLATION OF EQUIPMENT, FURNISHINGS, AND ACCESSORIES.
- PROVIDE ACCESS PANELS AS REQUIRED. LOCATION, FINISH, AND TYPE SHALL BE APPROVED BY ARCHITECT PRIOR TO OBTAINING AND INSTALLING. ACCESS PANEL LOCATIONS NOT APPROVED BY ARCHITECT WILL BE SUBJECT TO MODIFICATION AT NO ADDITIONAL COST. PROVIDE RATED ACCESS PANELS WITH THE SAME RATING AS THE ASSEMBLY IN WHICH THEY ARE INSTALLED. ACCESS PANELS IN SHAFT WALLS, RATED FLOOR/CEILINGS, OR RATED ROOF/CEILINGS SHALL BE SMOKE SEALED.

PROJECT TEAM

OWNER
CITY OF ASPEN PARKS & OPEN SPACE 427 RIO GRANDE PLACE ASPEN, CO 81611 PHONE: (970) 429 2035 CONTACT: MATT KUHN
CONTRACTOR
T. B. D. ADDRESS: PHONE: CONTACT:
ARCHITECT
OTAK ARCHITECTS, INC. 1444 WAZEE ST, SUITE 100 DENVER, CO 80202 PHONE: (303) 910-1146 CONTACTS: TOM HOOVER
STRUCTURAL ENGINEER
OTAK, INC. 805 BROADWAY ST, SUITE 130 VANCOUVER, WA 98660 PHONE: (360) 737-9613 CONTACT: SEAN CLARK
BUILDING ENCLOSURE
WJE 14123 DENVER WEST PARKWAY, SUITE 200 GOLDEN, CO, 80401 PHONE: 303 914-4300 CONTACT: SCOTT SONDRUP

ELECTRICAL ENGINEER
WSP ENGINEERING INC. 5613 DTC PARKWAY, SUITE 500 GREENWOOD VILLAGE, CO 80111 PHONE: (303) 694-4755 CONTACT: BENJAMIN WEERTS
MECHANICAL ENGINEER
WSP ENGINEERING INC. 5613 DTC PARKWAY, SUITE 500 GREENWOOD VILLAGE, CO 80111 PHONE: (303) 694-4755 CONTACT: BENJAMIN WEERTS

SHEET INDEX

GENERAL	COVER SHEET	ARCHITECTURAL	ELECTRICAL - GENERAL	PLUMBING - GENERAL	STRUCTURAL - GENERAL
G0.00		A0.01	E0.01	P0.01	S0.01
G0.01	AREA PLANS - PARKS OFFICE BUILDING	A1.01	ELECTRICAL LEGENDS, NOTES AND ABBREVIATIONS	PLUMBING LEGENDS, NOTES AND ABBREVIATIONS	GENERAL STRUCTURAL NOTES
G0.02	AREA PLAN - LOWER PARKS BUILDING	A2.01			
G0.10D	DEMOLITION PLAN - PARKS OFFICE BUILDING	A2.01a	ELECTRICAL - DEMO	PLUMBING - DEMO	STRUCTURAL - DEMO
G0.11D	DEMOLITION PLAN - LOWER PARKS	A2.01b	ED2.01	PD2.01	S2.01
G0.20	FENESTRATION AREA DRAWINGS	A2.02	POWER & SPECIAL SYSTEMS DEMOLITION PLAN - PARKS OFFICE	PLUMBING DEMOLITION PLANS - PARKS OFFICE	FLOOR PLANS - PARKS OFFICE BUILDING
G1.01	CODE SUMMARY	A2.03	ED2.02	PD2.02	S2.02
G1.02	EXISTING CONDITIONS PHOTOS	A2.04	POWER DEMOLITION PLAN - LOWER PARKS BUILDING	PLUMBING DEMOLITION PLAN - LOWER PARKS BUILDING	FOUNDATION PLAN - LOWER PARKS BUILDING
		A2.05			S2.04
		A2.06			ROOF PLAN - LOWER PARKS BUILDING
		A2.07			S5.01
		A2.08			CONCRETE DETAILS
		A2.09			S5.02
		A2.10			CONCRETE DETAILS
		A2.11			S6.01
		A2.12			STEEL DETAILS
		A2.13			S7.01
		A2.14			FRAMING DETAILS
		A3.01			
		A3.02			
		A4.01			
		A4.02			
		A4.10			
		A4.11			
		A5.01			
		A6.03			
		A6.04			
		A6.05			
		A6.06			
		A6.07			
		A6.08			
		A7.01			
		A7.02			
		A8.01			
		A8.02			
		A8.11			
		A9.01			

ABBREVIATIONS

# & CL	NUMBER AND CENTERLINE	FOS FOW	FACE OF STUD FACE OF WALL	ORD OSB	OVERFLOW ROOF DRAIN ORIENTED STRAND BOARD
AC	ACRE	FT	FEET	OSSC	OREGON STRUCTURAL SPECIALTY CODE
ACC	ACCESSIBLE	FTG	FOOTING WALL	OVFL	OVERFLOW
AED	AUTOMATED EXTERNAL DEFIBRILLATOR	GA	GAUGE, GYPSUM ASSOCIATION	PLAM	PLASTIC LAMINATE
AFF	ABOVE FINISH FLOOR	GAL	GALVANIZED	PL	PLATE, PROPERTY LINE
ADJ	ADJUSTABLE	GB	GRAB BAR	PLYWD	PLYWOOD
AHJ	AUTHORITY HAVING JURISDICTION	GPM	GALLONS PER MINUTE	PNL	PANEL
AHU	AIR HANDLING UNIT	GYP	GYPSUM	PNT	PAINT
ALUM	ALUMINUM	HB	HOSE BIB	PR	PAIR
APPROX	APPROXIMATE	HC-PHB	HOLLOW CORE PRIMED HARDBOARD	PREFIN	PREFINISHED
APT	APARTMENT	HDR	HEADER	PREPR	PRE-PRIMED
BD	BOARD	HDW	HARDWARE	PT	PRESSURE TREATED, POST TENSION
BDRM	BEDROOM	HM	HOLLOW METAL	R	RISER, RADIUS
BLDG	BUILDING	HORIZ	HORIZONTAL	R & S	ROD AND SHELF
BLKG	BLOCKING	HR	HOUR	RCP	REFLECTED CEILING PLAN(S)
BM	BEAM	HVAC	HEATING VENTILATION AND AIR CONDITIONING	RD	ROOF DRAIN
BOT	BOTTOM	IB	INTERNATIONAL BUILDING CODE	REF	REFERENCE
BR	BEDROOM	IBC	INTERNATIONAL BUILDING CODE	REFL	REFLECTED
CIP	CAST-IN-PLACE	IN	INCH	REFR	REFRIGERATOR
CJ	CONTROL JOINT	INFO	INFORMATION	REQD	REQUIRED
CL	CLOSET	INSUL	INSULATE(D), (ION)	REST	RESTROOM
CLG	CEILING (CLEARANCE)	INT	INTERIOR	RM	ROOM
CMU	CONCRETE MASONRY UNIT	JAN	JANITOR'S	RO	ROUGH OPENING
CPT	CARPET	JST	JOIST	SAMF	SELF-ADHERING MEMBRANE FLASHING
COL	COLUMNS	KDHM	KNOCK-DOWN HOLLOW METAL	SD	SMOKE DETECTOR
CONT	CONTINUOUS	KIT	KITCHEN	SF	SQUARE FOOT
CONC	CONCRETE	LAM	LAMINATE	SHTHG	SHEATHING
CORR	CORRIDOR	LAUN	LAUNDRY	SIM	SIMILAR
D	DRYER	LD	LOAD	SPEC	SPECIFICATION
DBL	DOUBLE	LGT	LIGHT	STD	STANDARD
DF	DRINKING FOUNTAIN	LN	LINEN	STL	STEEL
DIA	DIAMETER	LVT	LUXURY VINYL TILE	STOR	STORAGE
DIM	DIMENSION	LW	LIVESTOCK	STC	SOUND TRANSMISSION CLASS
DN	DOWN	MAINT	MAINTENANCE	STRUCT	STRUCTURAL
DR	DOOR	MATL	MATERIAL	SV	SHEET VINYL
DS	DOWN SPOUT	MAX	MAXIMUM	T	TREAD, TEMPERED
DW	DISHWASHER	MDF	MEDIUM DENSITY FIBERBOARD	T & G	TONGUE & GROOVE
DWG	DRAWING	MECH	MECHANICAL	TB	TOWEL BAR
EA	EACH	MEMB	MEMBRANE	TG	TEMPERED GLASS
EJ	EXPANSION JOINT	MFR	MANUFACTURER	THK	THICK, THICKNESS
EL	ELEVATION	MIN	MINIMUM	TOP	TOP OF
ELEC	ELECTRICAL	MIRR	MIRROR(ED)	TP	TOILET PAPER
ELEV	ELEVATOR	MISC	MISCELLANEOUS	TYP	TYPICAL
EP	ELECTRICAL PANEL	MTL	METAL	UNO	UNLESS NOTED OTHERWISE
EQUIP	EQUIPMENT	N	NORTH	UNFIN	UNFINISHED
EQ	EQUAL	NA	NOT APPLICABLE	VCT	VINYL COMPOSITION TILE
EXIST	EXISTING	NIC	NOT IN CONTRACT	VERT	VERTICAL
EXT	EXTERIOR	NO	NUMBER	VRFY	VERIFY
FCP	FIBER CEMENT PANEL	NR	NON RATED	W	WASHER
FD	FLOOR DRAIN	NTS	NOT TO SCALE	WI	WITH
FE	FIRE EXTINGUISHER CABINET	OC	ON CENTER	WD	WOOD
FIN	FINISH	OCC	OCCUPANT(S), OCCUPANCY, (IES)	WH	WATER HEATER
FLR	FLOOR	OLF	OCCUPANT LOAD FACTOR	WIC	WALK IN CLOSET
FND	FOUNDATION	OP	OPPOSITE	WIN	WINDOW
FO	FACE OF	OPNG	OPENING	WP	WATERPROOF
FPC	FACE OF CONCRETE			WR	WATER RESISTANT
FOP	FACE OF FINISH			WRB	WATER RESISTANT BARRIER

SYMBOLS

	ASSEMBLY TAG
	WINDOW TAG
	DOOR TAG
	NORTH ARROW
	DETAIL TAGS
	EXTERIOR ELEVATION TAG
	INTERIOR ELEVATION TAG
	BUILDING SECTION TAG
	WALL SECTION TAG
	ELEVATION DATUM
	GRID LINE/ GRID BUBBLE
	ROOM TITLE
	TEMPERED GLAZING
	GRAPHIC SCALE
	REVISION TAG AND CLOUD



Otak Architects, Inc.
1444 Wazee St, Suite 100
Denver, CO 80202
main 503.287.6825
www.otak.com

STAMP

CONSULTANT

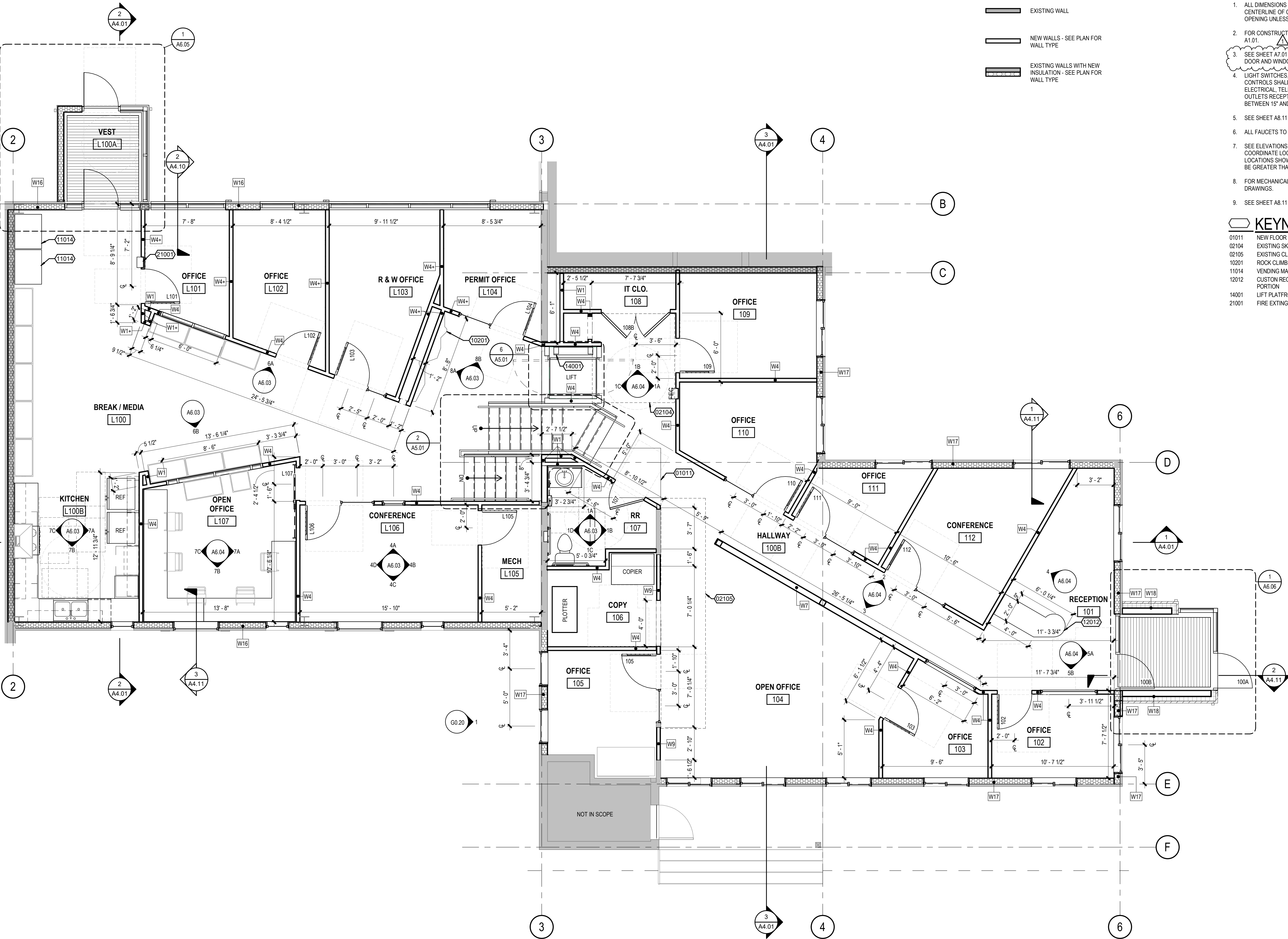
ASPEN P&OS - OFFICE RENOVATION

585 CEMETERY LANE
ASPEN, CO 81611

COVER SHEET

TITLE
DATE DESCRIPTION
A 24/03/08 CLIENT DD REVISIONS
REVISIONS
ZD_KT_OC GG_CM
DRAWN BY CHECK BY
PERMIT SET
STATUS
10/24/2024
DATE
21089A
PROJECT NUMBER
G0.00
© 2024 OTAK, INC.
If this drawing is not 24" x 36", it has been reduced/enlarged. Scale accordingly.

2 LEVEL 01 - ENLARGED PLAN
A2.01a SCALE: 1/4" = 1'-0"



FLOOR PLAN LEGEND

- EXISTING WALL
- NEW WALLS - SEE PLAN FOR WALL TYPE
- EXISTING WALLS WITH NEW INSULATION - SEE PLAN FOR WALL TYPE

ENLARGED PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF EXISTING FINISH, CENTERLINE OF COLUMN, FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS OTHERWISE NOTED.
- FOR CONSTRUCTION ASSEMBLY DESCRIPTIONS SEE SHEET A1.01.
- SEE SHEET A7.01 FOR ROOM FINISH SCHEDULE AND A9.01 FOR DOOR AND WINDOW TYPES AND SCHEDULES.
- LIGHT SWITCHES, ENVIRONMENTAL CONTROLS, AND OTHER CONTROLS SHALL BE 48" HIGH MAXIMUM ABOVE FINISH FLOOR. ELECTRICAL, TELECOMMUNICATIONS (TELEPHONE/TELEVISION) OUTLETS RECEPTACLES ON WALLS SHALL BE MOUNTED BETWEEN 15" AND 48" ABOVE FINISHED FLOOR.
- SEE SHEET A8.11 FOR INTERIOR STAIR DETAILS.
- ALL FAUCETS TO HAVE LEVER HANDLES.
- SEE ELEVATIONS FOR ALL VENT LOCATIONS. MECHANICAL TO COORDINATE LOCATIONS OF VENTS AND SOFFITS W/ LOCATIONS SHOWN ON PLANS AND ELEVATIONS. ALL VENTS TO BE GREATER THAN 3'-0" FROM ALL OPERABLE OPENINGS.
- FOR MECHANICAL SYSTEMS & EQUIPMENT SEE MECHANICAL DRAWINGS.
- SEE SHEET A8.11 FOR WALL MOUNTED RAILING DETAIL.

KEYNOTE LEGEND

- 01011 NEW FLOOR INFILL, SEE STRUCTURAL
- 02104 EXISTING SKYLIGHT ABOVE
- 02105 EXISTING CLERESTORY ABOVE
- 10201 ROCK CLIMBING WALL, BY OTHERS
- 11014 VENDING MACHINE
- 12012 CUSTOM RECEPTION DESK WITH INTEGRAL SIT-STAND PORTION
- 14001 LIFT PLATFORM ELEVATOR, BY OTHERS
- 21001 FIRE EXTINGUISHER CABINET, BY OTHERS

ASPEN P&OS - OFFICE RENOVATION

585 CEMETERY LANE
ASPEN, CO 81611

ENLARGED PLAN - LEVEL 01

TITLE

#	DATE	DESCRIPTION
A	24/03/08	CLIENT DD REVISIONS
1	TBD	PLAN CHECK REVISIONS

REVISIONS

ZD_KT_OC	GG_CM
DRAWN BY	CHECK BY
PERMIT SET	
STATUS	
11/04/2024	
DATE	
21089A	
PROJECT NUMBER	

A2.01a

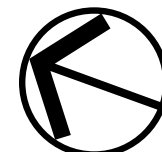
© 2024 OTAK, INC.
If this drawing is not 24" x 36", it has been reduced/enlarged. Scale accordingly.

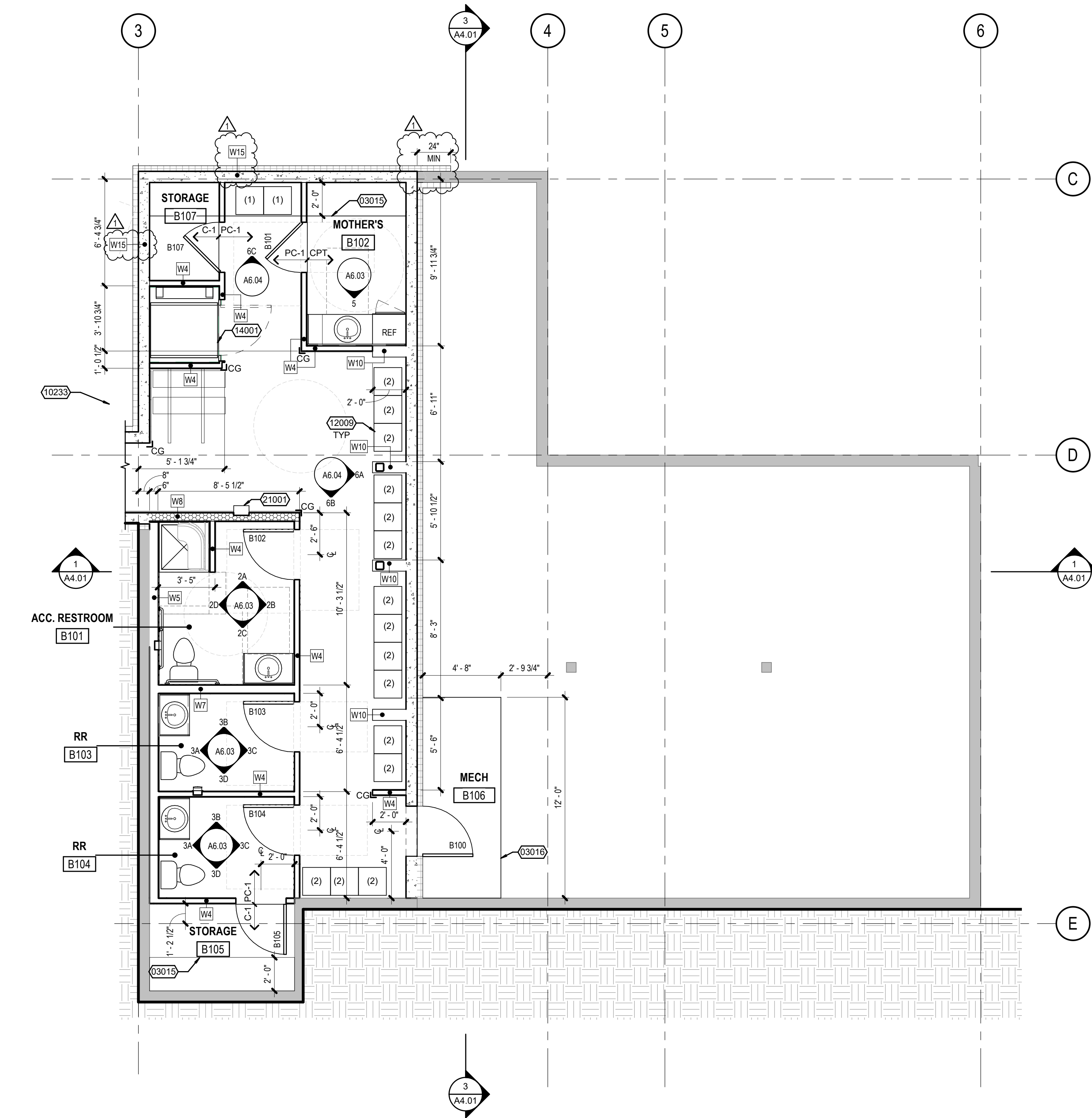


Otak Architects, Inc.
1444 Wazee St. Suite 100
Denver, CO 80202
main 503.287.6825
www.otak.com

STAMP

CONSULTANT





1 BASEMENT - ENLARGED PLAN
A2.01b SCALE: 1/4" = 1'-0"

INTERIOR FINISH KEY

ACT-1	ACOUSTIC CEILING TILE
AB-1	ACOUSTIC BAFFLES
CPT-1	CARPET TILE
CT-1	CERAMIC TILE (12"X24")
CT-3	CERAMIC TILE (3" X 6")
CT-4	CERAMIC WALL BASE (4")
CT-5	CERAMIC MOSAIC TILE
CT-6	CERAMIC TILE (6"X36")
C-1	CONCRETE
EM-1	ENTRY MAT, RECESSED
PC-1	POLISHED CONCRETE
PL-1	PLASTIC LAMINATE
PLYWD	PLYWOOD
PT-01	PAINT (CEILINGS)
PT-02	PAINT (WALLS)
PT-03	PAINT (ACCENT)
PT-04	PAINT (ACCENT)
PT-05	PAINT (ACCENT)
PT-06	PAINT (WINDOW/DOOR FRAMES INTERIOR)
RB-1	RUBBER BASE
SS-1	SOLID SURFACE
WD-1	MILLWORK FINISH
WDT	WOOD TREADS
WBC-1	WOOD BAFFLE CEILING
CWD	CUSTOM WALL DESIGN

FLOOR PLAN LEGEND

	EXISTING WALL
	NEW WALLS - SEE PLAN FOR WALL TYPE
	EXISTING WALLS WITH NEW INSULATION - SEE PLAN FOR WALL TYPE

ENLARGED PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF EXISTING FINISH. CENTERLINE OF COLUMN, FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS OTHERWISE NOTED.
- FOR CONSTRUCTION ASSEMBLY DESCRIPTIONS SEE SHEET A1.01.
- SEE SHEET A7.01 FOR ROOM FINISH SCHEDULE AND A9.01 FOR DOOR AND WINDOW TYPES AND SCHEDULES.
- LIGHT SWITCHES, ENVIRONMENTAL CONTROLS, AND OTHER CONTROLS SHALL BE 48" HIGH MAXIMUM ABOVE FINISH FLOOR. ELECTRICAL, TELECOMMUNICATIONS (TELEPHONE/TELEVISION OUTLETS RECEPTACLES ON WALLS SHALL BE MOUNTED BETWEEN 15" AND 48" ABOVE FINISHED FLOOR.
- SEE SHEET A8.11 FOR INTERIOR STAIR DETAILS.
- ALL FAUCETS TO HAVE LEVER HANDLES.
- SEE ELEVATIONS FOR ALL VENT LOCATIONS. MECHANICAL TO COORDINATE LOCATIONS OF VENTS AND SOFFITS W/ LOCATIONS SHOWN ON PLANS AND ELEVATIONS. ALL VENTS TO BE GREATER THAN 3'-0" FROM ALL OPERABLE OPENINGS.
- FOR MECHANICAL SYSTEMS & EQUIPMENT SEE MECHANICAL DRAWINGS.
- SEE SHEET A8.11 FOR WALL MOUNTED RAILING DETAIL.

KEYNOTE LEGEND

03015	CONCRETE SHELF TO PROTECT EXISTING FOOTING, SEE STRUCTURAL
03016	CONCRETE PAD FOR MECHANICAL EQUIPMENT AND SERVICING, SEE STRUCTURAL
10233	SKI FILE STORAGE, BY OTHERS
12009	PARCEL LOCKERS
14001	LIFT PLATFORM ELEVATOR, BY OTHERS
21001	FIRE EXTINGUISHER CABINET, BY OTHERS

STAMP

CONSULTANT

ASPEN P&OS - OFFICE RENOVATION

585 CEMETERY LANE
ASPEN, CO 81611

ENLARGED PLAN - BASEMENT

#	DATE	DESCRIPTION
A	24/03/08	CLIENT DD REVISIONS
1	TBD	PLAN CHECK REVISIONS

REVISIONS	
Author	Checker
DRAWN BY	CHECK BY
PERMIT SET	
STATUS	
11/04/2024	
DATE	
21089A	
PROJECT NUMBER	

A2.01b



FLOOR PLAN LEGEND

- EXISTING WALL
- NEW WALLS - SEE PLAN FOR WALL TYPE
- EXISTING WALLS WITH NEW INSULATION - SEE PLAN FOR WALL TYPE

ENLARGED PLAN NOTES

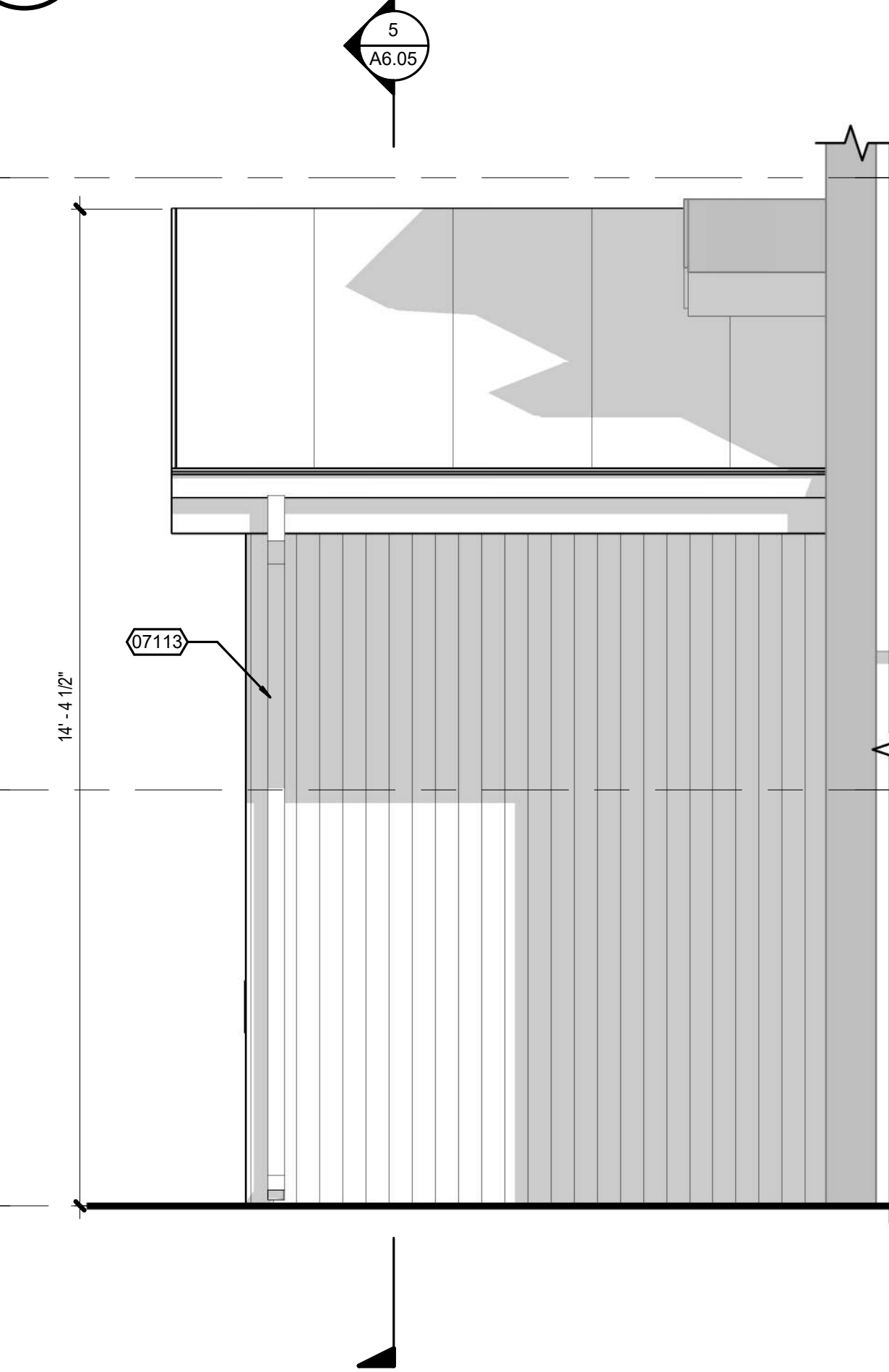
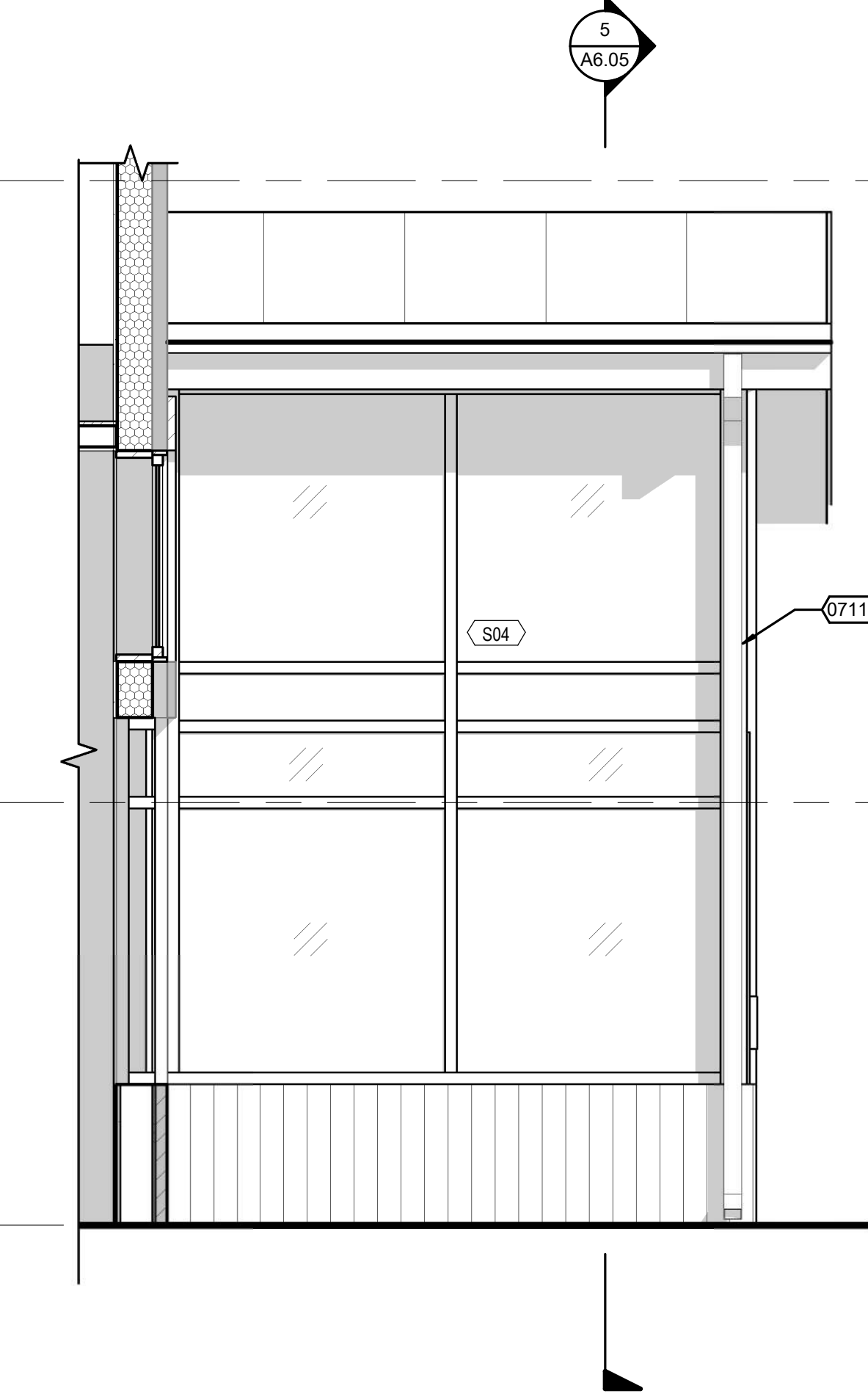
- ALL DIMENSIONS ARE TO FACE OF EXISTING FINISH, CENTERLINE OF COLUMN, FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS OTHERWISE NOTED.
- FOR CONSTRUCTION ASSEMBLY DESCRIPTIONS SEE SHEET A1.01.
- SEE SHEET A7.01 FOR ROOM FINISH SCHEDULE AND A8.01 FOR DOOR AND WINDOW TYPES AND SCHEDULES.
- LIGHT SWITCHES, ENVIRONMENTAL CONTROLS, AND OTHER CONTROLS SHALL BE 48" HIGH MAXIMUM ABOVE FINISH FLOOR. ELECTRICAL, TELECOMMUNICATIONS (TELEPHONE/TELEVISION OUTLETS) RECEPTACLES ON WALLS SHALL BE MOUNTED BETWEEN 15" AND 48" ABOVE FINISHED FLOOR.
- SEE SHEET A8.11 FOR INTERIOR STAIR DETAILS.
- ALL FAUCETS TO HAVE LEVER HANDLES.
- SEE ELEVATIONS FOR ALL VENT LOCATIONS. MECHANICAL TO COORDINATE LOCATIONS OF VENTS AND SOFFITS W/ LOCATIONS SHOWN ON PLANS AND ELEVATIONS. ALL VENTS TO BE GREATER THAN 3'-0" FROM ALL OPERABLE OPENINGS.
- FOR MECHANICAL SYSTEMS & EQUIPMENT SEE MECHANICAL DRAWINGS.
- SEE SHEET A8.11 FOR WALL MOUNTED RAILING DETAIL.

KEYNOTE LEGEND

- 01006 ROOF LINE ABOVE
- 07106 GLITTER (MIN 4"W X 3"D) AND DOWNSPOUT
- 07113 DOWNSPOUT
- 10231 WALK-OFF MAT

6 VESTIBULE - INTERIOR ELEVATION
A6.05 SCALE: 1/2" = 1'-0"

5 SECTION - VESTIBULE
A6.05 SCALE: 1/2" = 1'-0"

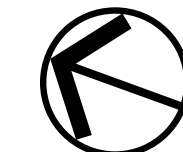
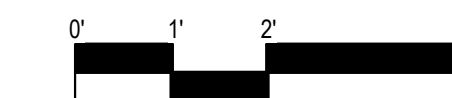
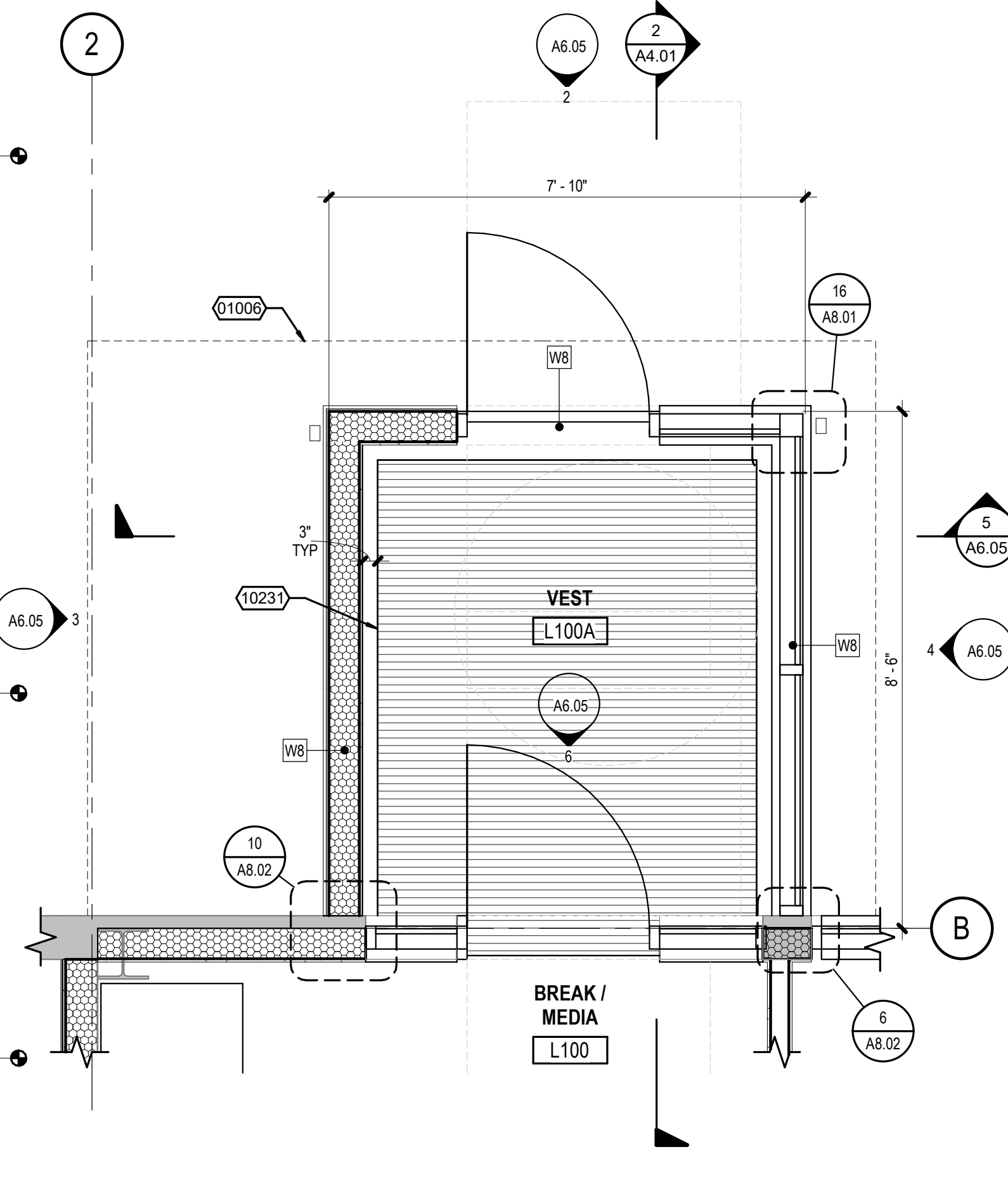


4 SOUTHEAST ELEVATION - VESTIBULE
A6.05 SCALE: 1/2" = 1'-0"

3 NORTHWEST ELEVATION - VESTIBULE
A6.05 SCALE: 1/2" = 1'-0"

2 NORTHEAST ELEVATION - VESTIBULE
A6.05 SCALE: 1/2" = 1'-0"

1 ENLARGED FLOOR PLAN - VESTIBULE
A6.05 SCALE: 1/2" = 1'-0"



FLOOR PLAN LEGEND

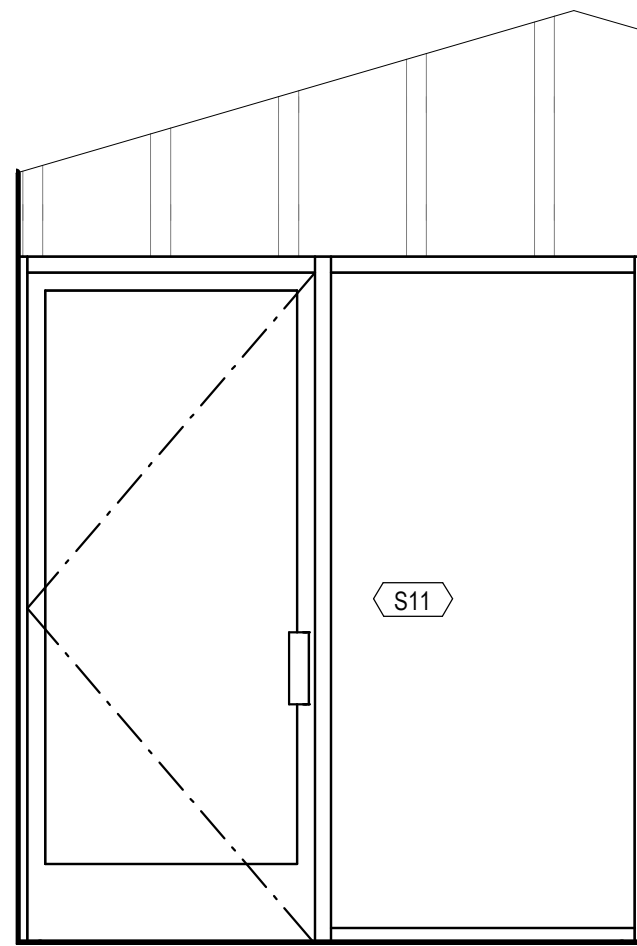
- EXISTING WALL
- NEW WALLS - SEE PLAN FOR WALL TYPE
- EXISTING WALLS WITH NEW INSULATION - SEE PLAN FOR WALL TYPE

ENLARGED PLAN NOTES

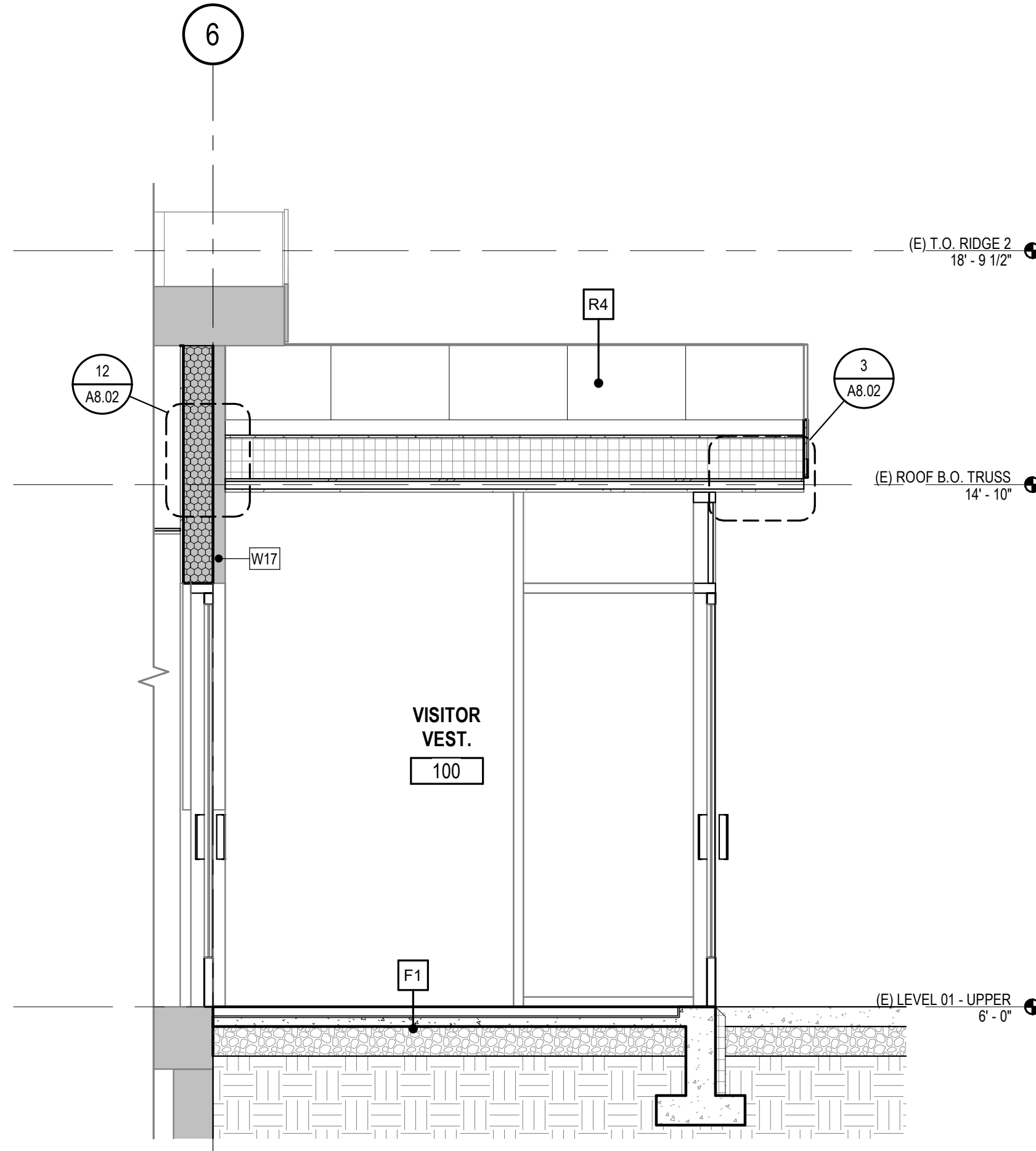
- ALL DIMENSIONS ARE TO FACE OF EXISTING FINISH. CENTERLINE OF COLUMN, FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS OTHERWISE NOTED.
- FOR CONSTRUCTION ASSEMBLY DESCRIPTIONS SEE SHEET A1.01.
- SEE SHEET A7.01 FOR ROOM FINISH SCHEDULE AND A9.01 FOR DOOR AND WINDOW TYPES AND SCHEDULES.
- LIGHT SWITCHES, ENVIRONMENTAL CONTROLS, AND OTHER CONTROLS SHALL BE 48" HIGH MAXIMUM ABOVE FINISH FLOOR. ELECTRICAL, TELECOMMUNICATIONS (TELEPHONE/TELEVISION OUTLETS RECEPTACLES ON WALLS SHALL BE MOUNTED BETWEEN 15" AND 48" ABOVE FINISHED FLOOR.
- SEE SHEET A8.11 FOR INTERIOR STAIR DETAILS.
- ALL FAUCETS TO HAVE LEVER HANDLES.
- SEE ELEVATIONS FOR ALL VENT LOCATIONS, MECHANICAL TO COORDINATE LOCATIONS OF VENTS AND SOFFITS W/ LOCATIONS SHOWN ON PLANS AND ELEVATIONS. ALL VENTS TO BE GREATER THAN 3'-0" FROM ALL OPERABLE OPENINGS.
- FOR MECHANICAL SYSTEMS & EQUIPMENT SEE MECHANICAL DRAWINGS.
- SEE SHEET A8.11 FOR WALL MOUNTED RAILING DETAIL.

KEYNOTE LEGEND

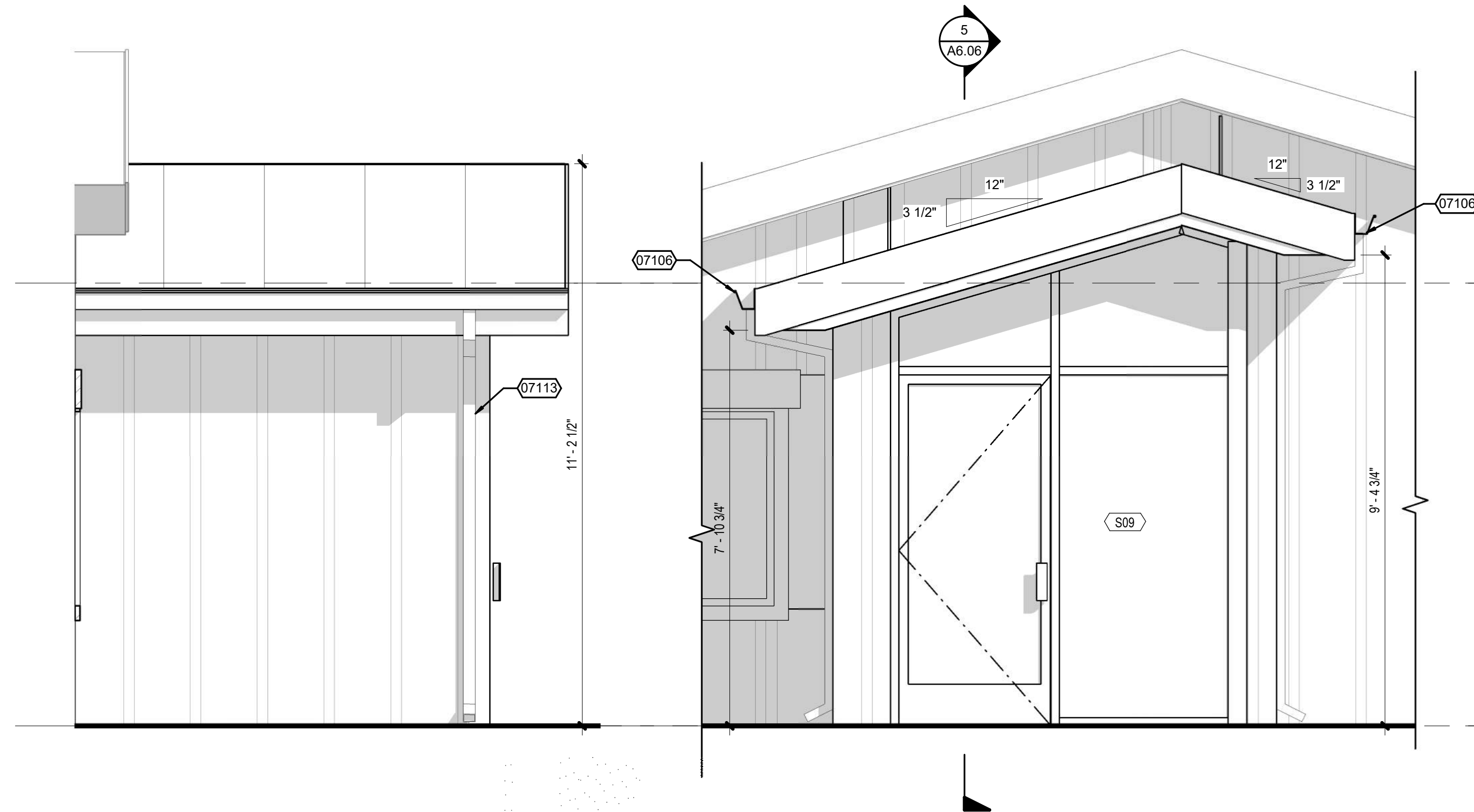
- 07106 GUTTER (MIN 4"W X 3"D) AND DOWNSPOUT
- 07113 DOWNSPOUT
- 10231 WALK-OFF MAT



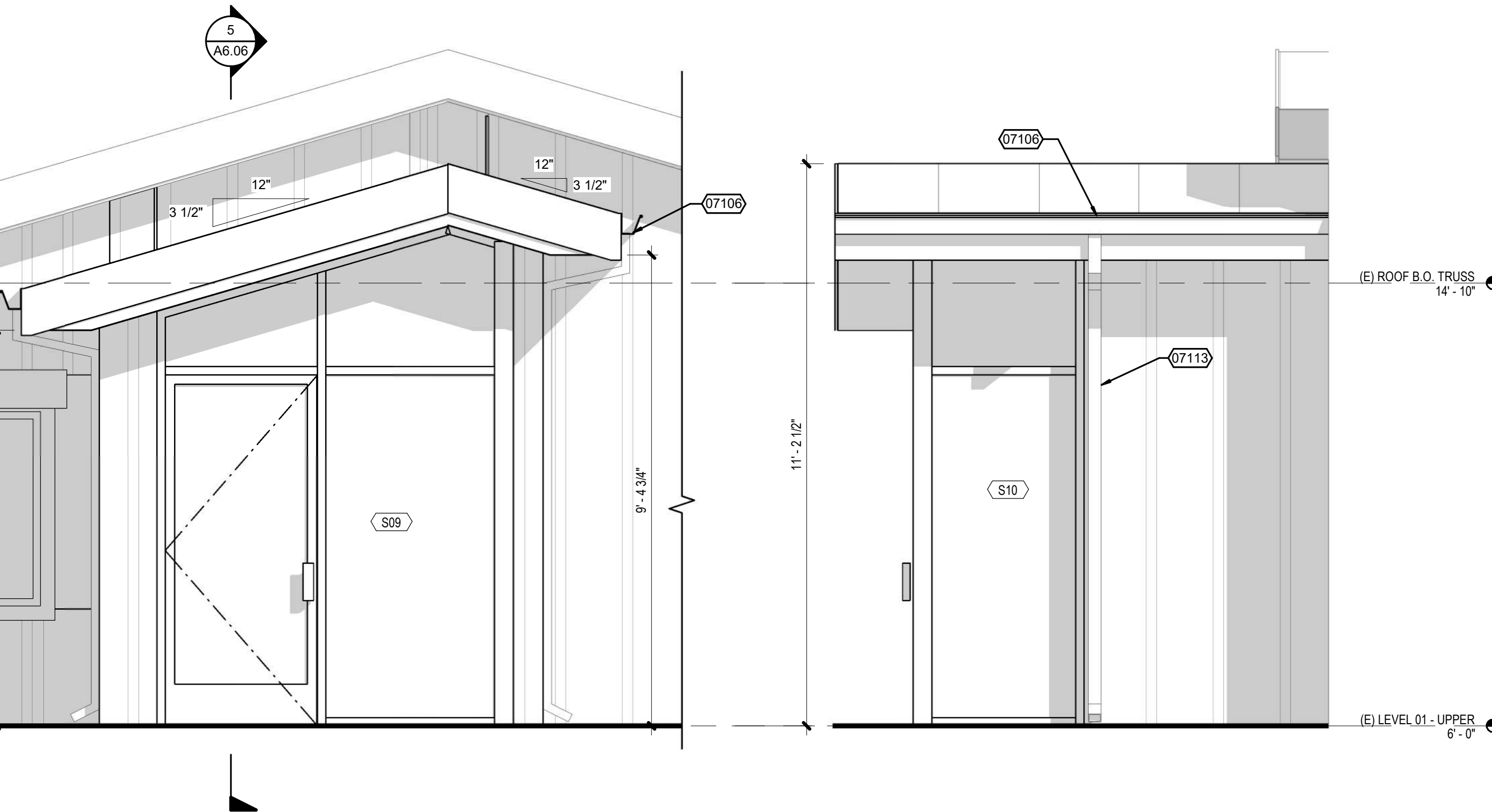
6 VISITOR VESTIBULE - INTERIOR ELEVATION
A6.06 SCALE: 1/2" = 1'-0"



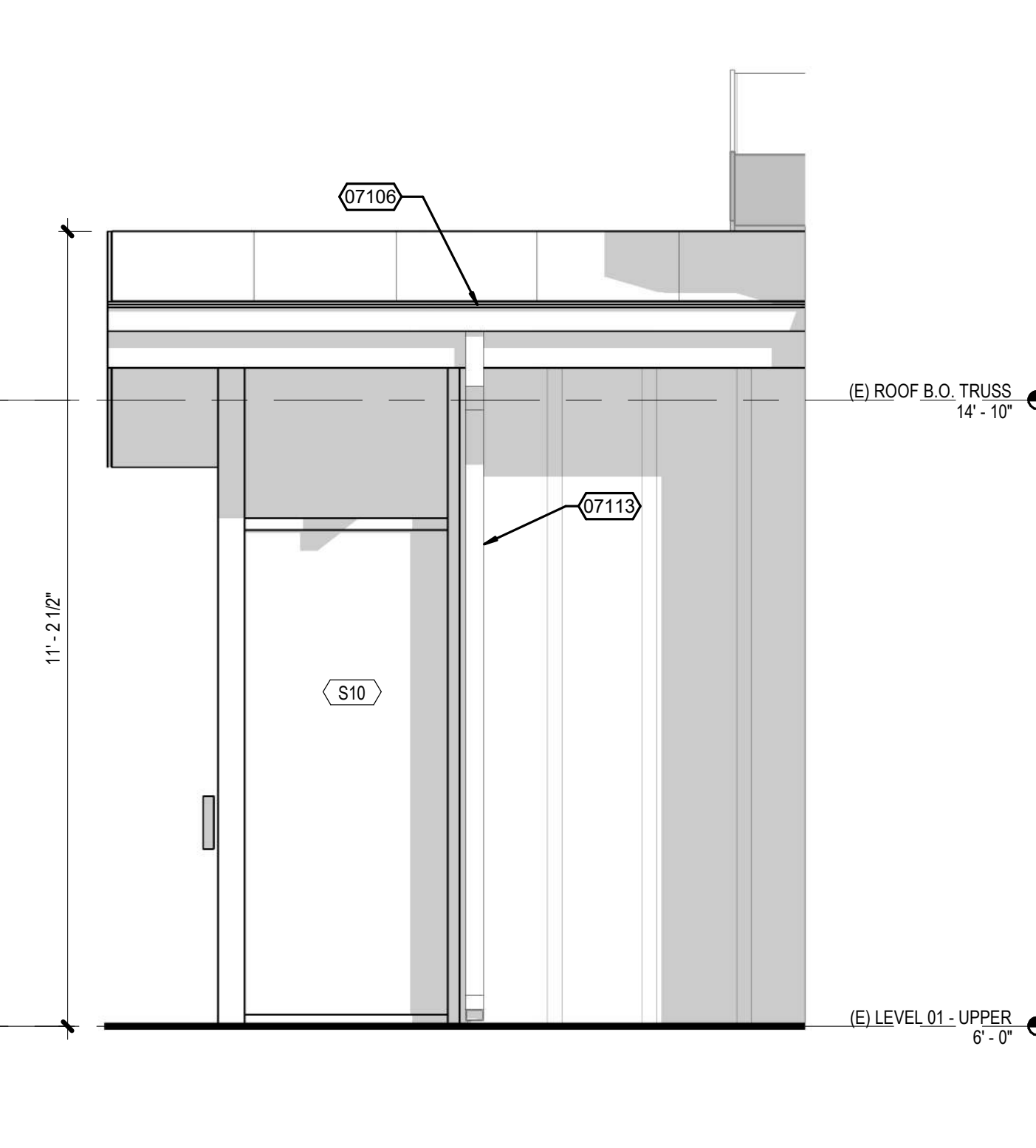
5 SECTION - VISITOR VESTIBULE
A6.06 SCALE: 1/2" = 1'-0"



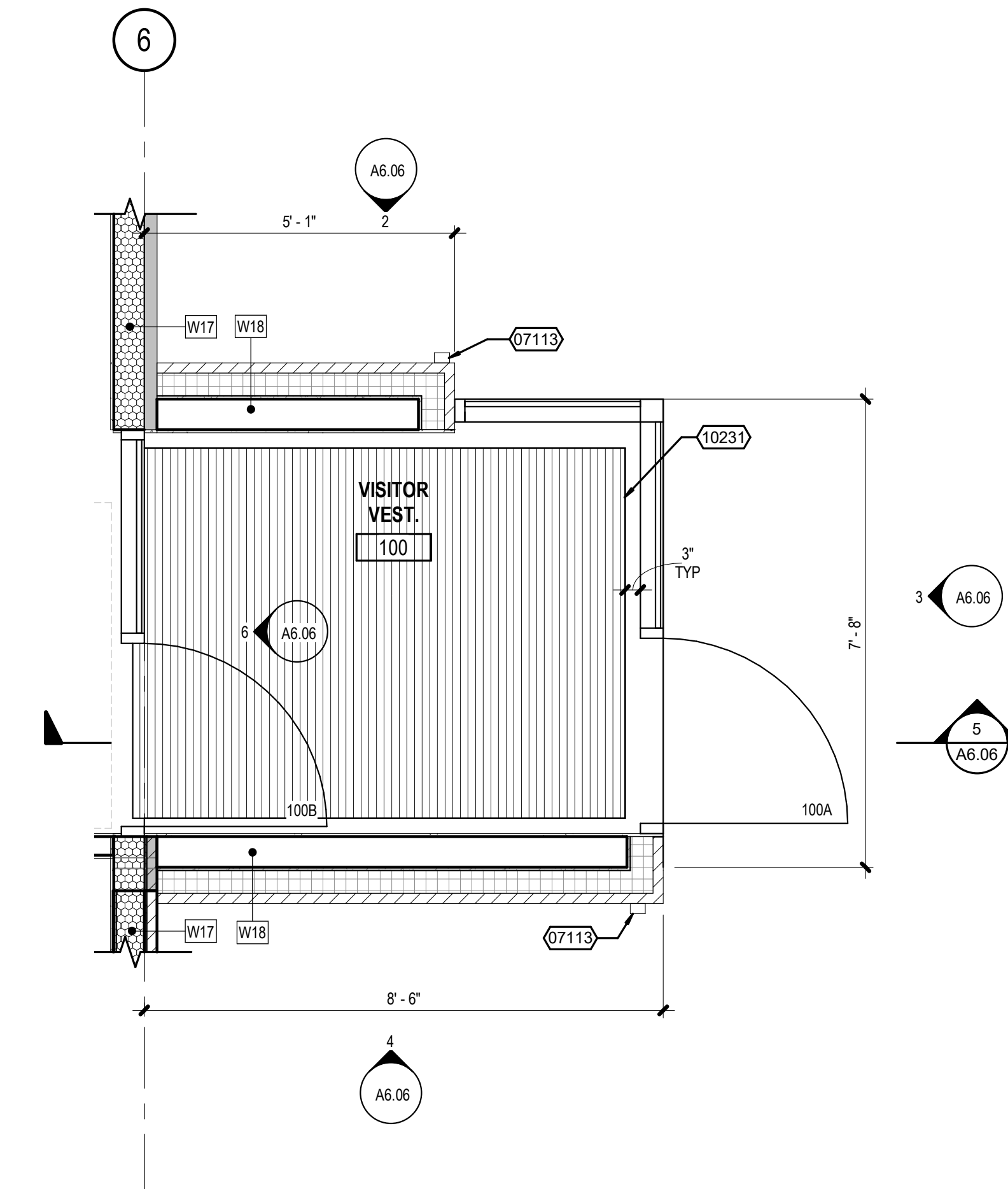
4 SW ELEVATION - VISITOR VESTIBULE
A6.06 SCALE: 1/2" = 1'-0"



3 SE ELEVATION - VISITOR VESTIBULE
A6.06 SCALE: 1/2" = 1'-0"



2 NE ELEVATION - VISITOR VESTIBULE
A6.06 SCALE: 1/2" = 1'-0"



1 ENLARGED FLOOR PLAN - VISITOR VESTIBULE
A6.06 SCALE: 1/2" = 1'-0"

